



Agenda
Athens Planning Commission
Wednesday, September 2, 2026 at 12:00PM

Streaming is available [TGC Streaming Video | Athens, OH - Official Website](#)

Establish Quorum

Disposition of Minutes

- August 19, 2026, Meeting Minutes

Cases

- 26-03 / Athens County Children Services Annexation – Recommended Zoning

Communications

- Title 21 / Planned Unit Development – Welcome Home Ohio (Hudson Ave Site)

Reports

Opportunity for Citizens to Speak About Items Not Covered on the Agenda

Announcements & Other Business

- Next Meeting: September 16, 2026

Adjournment

The City of Athens supports the Americans with Disabilities Act. Requests for reasonable accommodation may be made with the ADA Coordinator in the City Building or by calling 592-3367.

Athens City Planning Commission

A regular meeting of the Athens City Planning Commission was held in the City Council Chambers, third floor of City Hall, on August 19, 2026, at 12:00 PM.

1. Call to Order

Chair John Kotowski called the meeting to order at 12:02 PM and administered the oath to those in the audience intending to speak before the Commission. A quorum was established.

Planning Commission Members

- Chris Knisely, Vice Chair-Absent
- John Kotowski, Chair-Present
- Steve Patterson, Mayor-Present
- Andy Stone, Service-Safety Director-Present
- Ally Rapp Lee-Absent

Staff Present:

- Tom Pyle-Director of Development and Code Enforcement
 - Meghan Jennings-City Planner
-

2. Approval of the minutes from the June 17, 2026, meeting.

The Commission reviewed the minutes from the June 17, 2026, meeting. Two corrections previously identified on page five had been made: the public commenter's name was corrected from Mr. Hunter to Ms. Toddhunter, and the spelling of another individual's name was corrected from Snotty to Snoddy.

Motion: Mr. Stone moved to approve the corrected minutes.

Second: Mr. Kotowski seconded the motion.

Vote: Motion passed unanimously with Mr. Patterson abstaining.

3. Cases

No cases were presented.

4. Communications

Athens County Children Services — Recommended Zoning

Overview and Commission Discussion

- Mr. Kotowski introduced the communication regarding Athens County Children's Services (ACCS), explaining that ACCS is rebuilding its facility, which is currently located outside the Athens city limits. He stated that the property is being considered for annexation into the city and that the Planning Commission is being asked to recommend appropriate zoning.
- Ms. Jennings presented a current zoning map showing the location of the Athens County Children's Services property.
- Ms. Jennings stated that, based on the City's zoning ordinance, she believed B3 zoning would be the most compatible designation based on the property's location and existing uses.
- Mr. Kotowski asked about the extent of the Athens County Children's Services property.
- Ms. Jennings explained that ACCS owns parcels extending north past Hillcrest Road and along U.S. 33, with the organization's main operations located closer to Jacobs Drive.
- Mr. Kotowski asked whether properties that are partially within the city limits and partially outside the city limits would remain partially outside the city following the Children's Services annexation.
- Ms. Jennings confirmed that portions of those properties would remain outside the city limits.
- Mr. Kotowski asked whether the owners of the other properties in the area had been approached about annexing the portions of their properties that remain outside the city limits.
- Mr. Pyle stated that they had not.
- Mr. Stone provided background on the City's agreement with Athens County Children's Services. He explained that ACCS had approached the City about providing substantial water service and that the City agreed to expand its water and sewer systems to support the facility, with the understanding that ACCS would annex into the city.
- Mr. Stone stated that the County Commissioners and City Council had agreed that the County would proceed with annexation if the City petitioned for it. He explained that, on or about October 15, City Council would petition the County Commissioners to approve the annexation, with the goal of the annexation taking effect January 1, 2027.
- Mr. Stone explained that, before the annexation can proceed, the Planning Commission needs to determine the appropriate zoning for the property.
- Mr. Stone also explained that the residential properties adjacent to the Children's Services property could potentially annex into the city in the future if the owners wished to do so. However, the City intended to keep those properties separate from the Children's Services annexation.
- Mr. Kotowski clarified that the Planning Commission's role at this point was to recommend zoning for the Athens County Children's Services property to City Council.

- Mr. Stone confirmed that this was correct.
- Ms. Jennings stated that, because of the contours of the northern half of the property, the Commission could consider zoning the northern portion R1 and the southern/lower portion B3. She explained that this would make the zoning more compatible with the existing R1 zoning to the east of the property.
- Mr. Stone clarified that the northern portion of the property would begin from Hillcrest Drive and extend north.
- Mr. Patterson asked for clarification as to whether the proposed annexation includes the entire section shown on the plat map.
- Mr. Stone confirmed and stated that the property consists of approximately 29 acres. He also noted that there is additional County Commissioners' property outside of the area shown that is not being annexed.
- Mr. Patterson asked whether the Commission was dealing with the ACCS parcel extending from Hillcrest Drive south or the entire section.
- Mr. Pyle clarified that the area under consideration is the entire property shown on the last page of the agenda packet. He stated that the 29-acre property extends well up the hill along the highway, including the area near the cliffsides. He further clarified that the proposed zoning would place B3 at the lower portion of the property and R1 at the upper portion.
- Mr. Patterson asked about the possibility of zoning the northern portion of the property Open Space (OS) and whether that portion was developable.
- Mr. Pyle stated that the northern portion is currently wilderness/forest.
- Mr. Stone stated that the City is surrounded by undevelopable land and expressed concern that designating additional property as Open Space (OS) could create barriers to future housing development. He stated that he felt R1 would be the more appropriate zoning designation.
- Mr. Stone asked the Commission to discuss the benefits of zoning the lower portion B3 rather than B2 or B1.
- Mr. Stone asked the Director of Children Services whether he was opposed to B3 zoning and whether Children Services currently had residential uses at the property.
- Mr. Stone stated that residential use was not currently part of Children Services' plans. He noted that if the property were zoned B3, Children Services would not be able to have residential use on the first floor in the future.
- Mr. Stone asked whether there would be any benefit to zoning the Children Services property B1 and whether B1 would be incompatible with the proposed use.
- Ms. Jennings read the beginning of the B1 zoning definition and stated that she and the Code Director were reviewing the definition to determine whether Children Services would qualify for B1 zoning.
- Mr. Pyle stated that he did not anticipate Children Services creating residential use on the first floor, based on what they had indicated. He stated that they had reviewed the B3 and

B1 zoning districts and they felt that B3 would be the most appropriate zoning classification. However, if there were objections to B3, he stated that B1 would be their second choice. He stated that B2 would not be necessary.

- Mr. Stone questioned whether the more restrictive B1 zoning could create compatibility issues with the property's intended use. He noted that, although the governmental entity may not be required to comply with zoning requirements, the property should still be assigned a compatible zoning designation.
- Mr. Pyle stated that B3 is the least restrictive business zoning classification and would provide greater flexibility for the property's use.
- Mr. Stone raised a concern that R1 zoning could prevent future multifamily development if the County ever wanted to use the property for that purpose.
- Ms. Jennings explained that B3 zoning requires buffers for many intensive uses adjacent to R1 or R2 districts, commonly 200 feet. She gave a hospital as an example and noted that, based on the property's estimated 230–250-foot width, there would be approximately 30–50 feet remaining after the required buffer.
- Mr. Stone stated that residents had expressed concerns about businesses along East State Street being incompatible with the surrounding neighborhood and noted that the area is a commercial corridor that's been there for a long time. He stated that residents may be concerned about uses such as a car dealership and felt the proposed approach would address those concerns.
- Mr. Pyle added that B3 zoning contains 100 and 200 foot buffer requirements for many uses, although not every use has the same requirement.
- Mr. Patterson recalled that portions of the East State Street retail corridor were previously zoned R2 and were later changed by City Council to R1. He noted that zoning changes have occurred in both directions over time.
- Mr. Stone noted that the southern boundary of the property borders a limited-access right-of-way to East State Street, which would limit future access or development from that boundary.
- Mr. Kotowski recommended that the proposed 29.424-acre County Children's Services property be zoned B3 for the southern portion and R1 for the northern portion.
- Mr. Stone suggested that a revised zoning map be prepared for the next meeting showing the proposed zoning boundaries and recommended that the Commission review the map and vote on the proposal at that time.

5. Reports

Meghan Jennings, City Planner

- Ms. Jennings reported that the Welcome Home Ohio Planned Unit Development (PUD) application has been submitted to the Code Office, with initial Planning Commission review scheduled for September 2 and final review for September 16.
- She stated that a neighborhood informational meeting is scheduled for Saturday to discuss the project, site plan, proposed homes, and environmental considerations. The development team will present the project and answer residents' questions, with informational boards displaying the site plan, renderings, and unit floor plans.
- She noted that one of the eight units will be fully ADA accessible, which was a priority in the site design.
- She reported that a separate prospective buyer meeting is being planned at the new fire station headquarters on Stimson Avenue, with mortgage lenders and financial literacy organizations expected to participate.
- Mr. Patterson recommended being prepared to address infrastructure improvements and fire protection on Hudson Street.
- Ms. Jennings provided a Comprehensive Plan update, noting that the Northside neighborhood meeting is being rescheduled, the Culture and Values stakeholder group will begin meeting Friday, and the Comprehensive Plan website and meeting calendar are being updated.
- She reported that the August 5 public open house had good attendance and input, and the revised public survey will be promoted on social media and the City's website.

Tom Pyle, Director of Development and Code Enforcement.

- Mr. Pyle stated he would answer questions if any about the Avanelle Crossing Development.
- Mr. Kotowski asked if there was an update.
- Mr. Pyle stated he spoke with the developers over a month ago and they indicated they were looking into alternative locations and have ceased all work on the proposed location.

6. Opportunity for Citizens to Speak About Items Not Listed on the Agenda

- No additional comments were made.
-

7. Announcements & Other Business

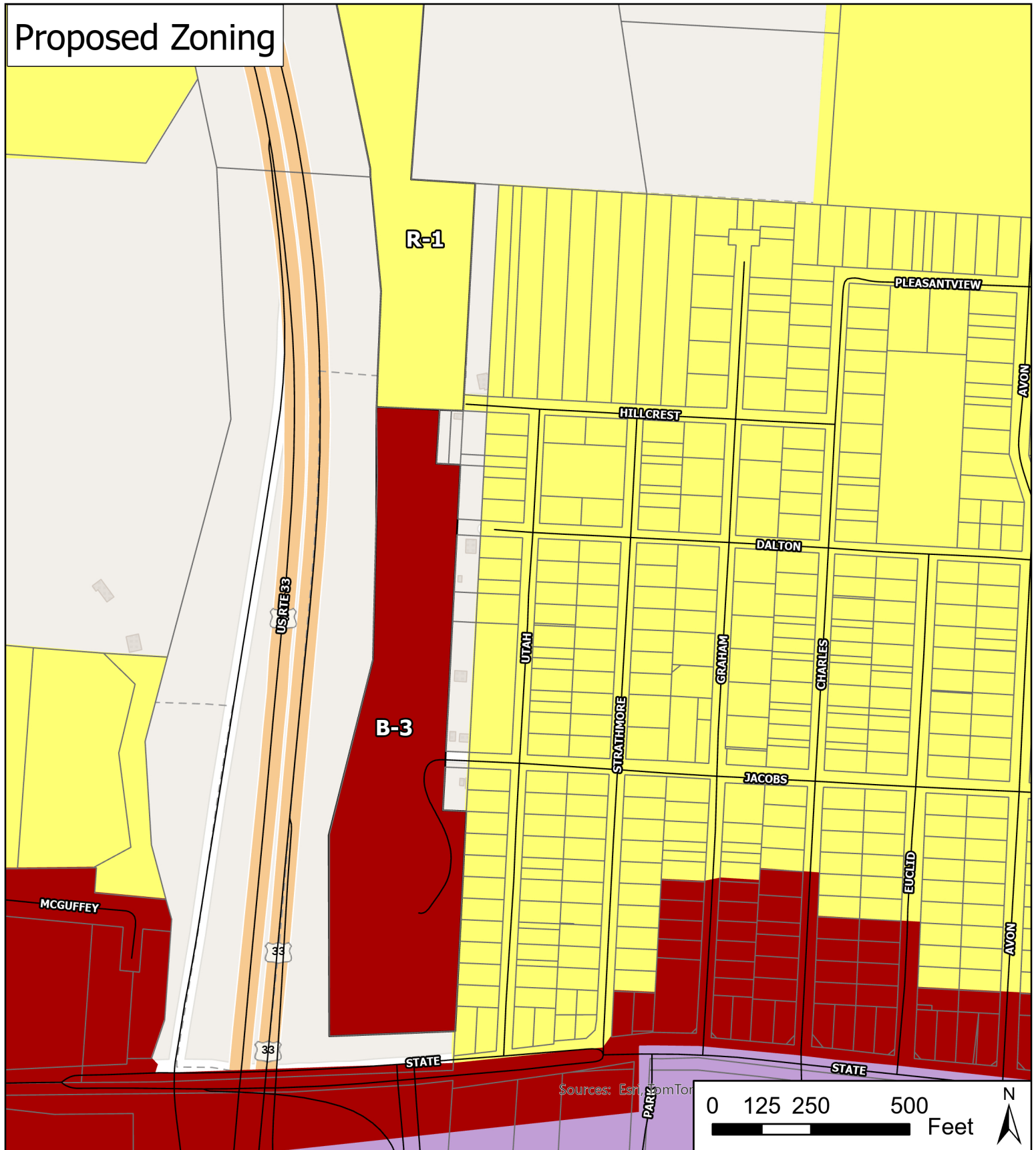
- Mr. Patterson reported that recent heavy rainfall and flash flooding in late June and on August 11 significantly affected Richland Avenue and East State Street.
- He stated that the City is meeting with affected businesses to discuss potential solutions, including the 2025 Army Corps of Engineers report on Coates Run.
- He noted that the City will also work with ODOT to explore potential assistance and solutions for future flooding.

8. Adjournment

Motion: Mr. Kotowski moved to adjourn.

Second: Mr. Stone seconded the motion.

Vote: Motion passed unanimously.



Proposed Zoning

Proposed zoning for the annexation of the Athens County Children Services property on Stonybrook Drive.

Map created by Athens City Planner. Data recent as of 8/27/2026.

Legend

Parcel

Zoning

B-1	M
B-2	OS
B-2D	R-1
B-3	R-2
EI	R-3



TITLE 21 APPLICATION

Preliminary Subdivision Plan

(For Office Use Only)

Permit # PU026-00001

Date Rec'd 8/14/20

Required Prior to Preliminary Plan Submission:

- A. Pre-Sketch meeting completed on _____
- B. Sketch Plan Submission approved on _____

For Official Use Only

Code Administrator concurrence ☐ Complete ☐ Incomplete

Code Administrator concurrence ☐ Complete ☐ Incomplete

Applicant shall comply with all sections of Athens City Code Title 21 particularly Title 21.03.09. All required information shall be attached to this application, including but not limited to all items on attached checklist.

Contact Information:

1. Applicant Community Building Partners Phone 314-704-9956
2. Mailing Address _____ State Ohio Zip 43205
3. Email Address _____
4. Address of Project/ Site: Welcome Home Athens at 93 Hudson Avenue
5. Parcel Number: A027180001700, and A027180001600 Zoning Designation: R-3 - No change
6. Project Description: Eight permanently affordable owner-occupied homes to be sold at 93 Hudson Avenue

I HEREBY SWEAR OR AFFIRM THAT ALL THE INFORMATION PROVIDED AND ATTACHED REQUIRED DOCUMENTATION ARE TO THE BEST OF MY KNOWLEDGE TRUTHFUL AND ACCURATE.

By signing this application, the applicant agrees to comply with all facets of Athens City Code Title 21.

Applicant Signature Andrew J. Frisbie Date 8/14/2026

Owner Signature Community Building Partners by Director Date 8/14/2026

For Official Use Only

1. **Code Enforcement Admin:** Signature _____ Date: _____
- ☐ Attached Checklist Complete ☐ Fee Paid Amount \$ _____
2. **Code Directors Review:** ☐ Approve ☐ Refused ☐ Missing Documentation
- Remarks: _____
- Signature: _____ Date: _____
3. **City Engineer Review:** ☐ Approved ☐ Refused ☐ Missing Documentation
- Remarks: _____
- Signature: _____ Date: _____
4. **Service Safety Director:** ☐ Approved ☐ Refused ☐ Missing Documentation
- Remarks: _____
- Signature: _____ Date: _____

TITLE 21 - Preliminary Subdivision Application Checklist

- ☐ **Approved pre-application sketch plan for major subdivision**
- ☐ **Preliminary plan requirements for major subdivision**
 - ☐ Complete application form available from the planning commission.
 - ☐ Signed variance application form and fee set forth in the appendix (if applicable).
 - ☐ Five copies of the preliminary plan containing all required information.
 - ☐ The preliminary plan shall be submitted in the following form:
 - ☐ Drawn at a scale between 100 feet to the inch and ten feet to the inch.
 - ☐ On one or more sheets 24 by 36 inches or 18 by 24 inches in size, clearly and legibly drawn.
 - ☐ The original shall be drawn on mylar material. Copies shall be blue or black line paper prints. Additionally, a PDF file of the plans shall be submitted.
 - ☐ The preliminary plan shall contain the following information:
 - ☐ Proposed name of the subdivision, location by section, range, township, or other survey.
 - ☐ Boundaries and acreage.
 - ☐ Name, address, and telephone number of the owner, developer, professional, surveyor and professional engineer with appropriate numbers and seals.
 - ☐ Scale of the plat, north point legend and a vicinity map of a scale not less than 2,000 feet to an inch, and date of survey.
 - ☐ Name of adjacent subdivisions, owners of adjoining parcels and location of common boundary lines extended to 200 feet beyond the boundary of the subdivision.
 - ☐ Topographic contours with intervals no greater than two feet at five percent slope, no greater than five feet for slopes over five percent and less than or equal to 15 percent, and no greater than ten feet for slopes greater than 15 percent.
 - ☐ Location, width, and names of existing streets, railroad rights-of-way, easements, parks, buildings, corporation and township lines; wooded areas, orthophoto of the subdivision at a scale acceptable to the service-safety director, location and species of all trees over six inches diameter at breast height in areas proposed to be disturbed, water courses, drainage patterns, water bodies, and topographic features.
 - ☐ Location of floodways, floodplains, and other areas, natural or human-made, that may be hazardous.
 - ☐ Location of environmentally sensitive areas.
 - ☐ Soil types, derived from the USDA Soil Survey for Athens County. An interpretive soil report, prepared by the Athens Soil and Water Conservation District is recommended.
 - ☐ Layout, number, dimensions of each lot, and setback lines (a note listing setback dimensions may be added in lieu of showing setback lines if the plan will be made more legible).
 - ☐ Parcels of land reserved for public use or reserved by covenant for residents of the subdivision.
 - ☐ Point of ingress/egress or driveway locations and the distance to any existing driveway(s); potential streets or common access drive layouts for adjacent land intended for future development.
 - ☐ Type of water supply and wastewater disposal proposed, approximate locations and dimensions of all proposed utilities and sewer lines, easements, drainage tiles, water mains, culverts, or other underground utilities within the tract or adjacent thereto.
 - ☐ Known cemeteries, historical or archeological sites.
 - ☐ Copy of proposed covenants and restrictions, and a schedule outlining the order of development of each section of phase of the subdivision. If a homeowners association or an improvements maintenance agreement is proposed, include sample copies of each agreement.
 - ☐ Planning commission preliminary review fee: \$600.00 and \$30.00 per lot.
- ☐ **Additional information for the preliminary plan.** The following information does not apply to all projects and may be requested during the site review or required during review and approval of applications (check all that apply):
 - ☐ Statements of proposed use of lots, giving type and number of dwelling units and/or type of business or industry.

TITLE 21 - Preliminary Subdivision Application Checklist

- ☐ Conceptual plan for commercial and industrial development, showing proposed parking, loading areas, alleys, pedestrian walkways, streets, points of vehicular ingress/egress to the development and landscape features.
- ☐ A drawing of all present and proposed grades and facilities for storm water drainage in cases where natural drainage is altered and proposals to abate erosion and storm water damage.
- ☐ A feasibility study on sewer and water facilities for land developments of two or more dwelling units.
- ☐ Screening, buffering and/or noise abatement measures.
- ☐ Preliminary engineering designs of any new bridges or culverts proposed in the project.
- ☐ Other information, impact studies, items, or provisions deemed necessary or prudent to create buildable sites and to promote the public health, safety, and welfare.

Note: The developer shall be responsible to cover the costs of inspection, processing, and review that are incurred by the planning commission, and said fee shall be paid prior to approval by the city council. Reimbursed funds shall be deposited into the general fund and credited into the engineering expense line provided the reimbursement is a current year expenditure.

CITY OF ATHENS, OHIO
Preliminary Planned Unit Development (PUD) Application
Athens City Code § 21.09 • Welcome Home Ohio (WHO) – Athens Project

Project: Welcome Home Ohio – Eight (8) Single-Family Homes
Location: 93 Hudson Avenue area, Athens, Ohio (Parcels A027180001700 & A027180001600)
Developer / Applicant: Community Building Partners
Total Site Area: 1.054 acres | **Proposed Units:** 8 single-family homes | **Zoning:** R-3 (to remain R-3)
Plan Fee: \$600 + (\$30 × 8 units) = **\$840.00**

1. Written Statement – Public Interest Justification for PUD

Community Building Partners respectfully submits this application for Planned Unit Development (PUD) designation for the Welcome Home Ohio project consisting of eight (8) single-family homes on approximately 1.054 acres at the terminus of Hudson Avenue in the City of Athens.

While the City's PUD process is most commonly applied to larger-scale multi-unit developments (for example, projects exceeding 60 units such as those previously considered on Hooper Road), the present proposal is intentionally modest in scale. The decision to pursue PUD designation for this smaller residential project was made in close consultation with, and at the preference of, Tom Pyle, Director of Code Enforcement for the City of Athens. Director Pyle has indicated that a project-specific PUD framework is the preferred mechanism for establishing unique development controls tailored to this particular site and its affordable-housing mission. By utilizing the PUD process, the City and the developer can adopt standards appropriate to eight single-family homes without establishing a general zoning precedent that would automatically apply to future developments elsewhere in the City.

This project has been formally recognized as a City of Athens Project. Mayor Steve Patterson and City Engineers have publicly identified the Welcome Home Ohio Initiative as a City priority before City Council. The project is funded in substantial part by a Welcome Home Ohio grant awarded to the City of Athens by the Ohio Department of Development and is being advanced through a public-private partnership between the City and Community Building Partners. The homes will be sold at a maximum price of \$180,000 to income-qualified buyers, directly advancing the City's stated goals of increasing affordable homeownership opportunities within city limits.

The base zoning designation of R-3 will remain unchanged. The PUD will function as a site-specific overlay that provides the flexibility needed for efficient layout, infrastructure coordination, and quality design on a constrained former municipal site, while preserving the underlying R-3 district standards as the baseline. In this way, the PUD serves the public interest by enabling the delivery of much-needed affordable housing, avoiding the creation of undesirable zoning precedents, and ensuring that development controls remain under the careful review of the Planning Commission and City Council.

2. Applicant & Professional Information

Applicant / Developer

Community Building Partners (a Praxis Partners entity)
c/o Joe Recchie, Andrew Frisbie, Preconstruction & Site Development

Registered Surveyor / Engineer / Urban Planner

Smith Land Survey, Thomas Smith, registered surveyor, registered engineer, and/or urban planner assisting in the preparation of the preliminary PUD plan are as shown on the submitted plan set and will be confirmed with the City Planner and Code Director.

3. Property Information

Legal Description / Parcel Identification

Parcel A027180001700 – conveyed to Community Building Partners by deed dated May 11, 2026.

Parcel A027180001600 – conveyed to Community Building Partners by deed dated July 31, 2026.

Combined site area: **1.054 acres**. Full metes-and-bounds legal descriptions are contained in the recorded deeds and are incorporated by reference; survey data appears on the submitted plans.

Present Use(s)

The property is currently zoned R-3. Historically the site functioned as a City lot containing an impound vehicle lot and an older cinder-block storage building. The site is underutilized municipal/former municipal land being converted to residential use.

Present and Proposed Zoning Designation

Present: R-3 | **Proposed:** R-3 (no change to base zoning). The PUD is requested as a site-specific development framework only. Zoning designation is shown on the master plan / preliminary plan set.

Proposed Amending Section

No amendment to the underlying R-3 zoning district text is proposed. The application seeks PUD approval under Athens City Code § 21.09 to establish project-specific standards and controls as recommended by the Director of Code Enforcement.

4. Evidence of Control & Neighbor Notification List

Evidence of Sufficient Control

Community Building Partners holds fee-simple title to both parcels comprising the development site, as evidenced by the deeds recorded on May 11, 2026 (Parcel A027180001700) and July 31, 2026 (Parcel A027180001600). The developer therefore possesses full legal control to initiate the proposed development within two years of approval, consistent with the requirements of § 21.09.

Neighboring Property Owners within 500 Feet

A complete list of names and mailing addresses of all property owners within 500 feet of the subject property is available and will be submitted with this application (or has been prepared for mailing of the required public hearing notices). The list will be provided to the City Planner and Code Director concurrent with formal submittal.

5. Proposed Schedule for Development of the Site

The following high-level schedule is proposed and remains subject to final coordination with City staff, utility providers, and the modular home manufacturer (Unibilt):

Phase	Target Window
Preliminary Plan Submittal & Initial Planning Commission Review	August – September 2026
Final Plan Submittal, Disabilities & Shade Tree Commission Reviews	September – October 2026
Final Planning Commission & City Council Approvals	October – November 2026
Site preparation, infrastructure, and foundations	Late 2026 – early 2027
Modular home delivery, set, and finish work	2027
Occupancy / sale to qualified buyers	2027

Construction is expected to commence within two years of final PUD approval, consistent with code requirements.

6. Preliminary Plan Materials (Submitted Separately)

The following plan elements have been prepared at appropriate scale and are submitted as the Preliminary Plan set accompanying this application narrative:

- Site plan produced at a scale approved by the City Planner and Code Director
- Vicinity map showing property lines, streets, existing and proposed zoning
- Topography (ten-foot intervals)
- Layout, dimensions, and names of existing and proposed streets; rights-of-way and utility easements
- Layout and dimensions of lots and building setback lines
- Preliminary improvement drawings for water, sewer, drainage, electricity, telephone, and natural gas
- Location of the eight single-family residential units and related open space / community features

Verification

The undersigned, being at least one owner of the subject property (or authorized representative of Community Building Partners), hereby verifies that all information contained in this application and the accompanying preliminary plan is true and correct to the best of his/her knowledge.

Community Building Partners by Andrew Frisbie

Signature of Authorized Representative
Community Building Partners

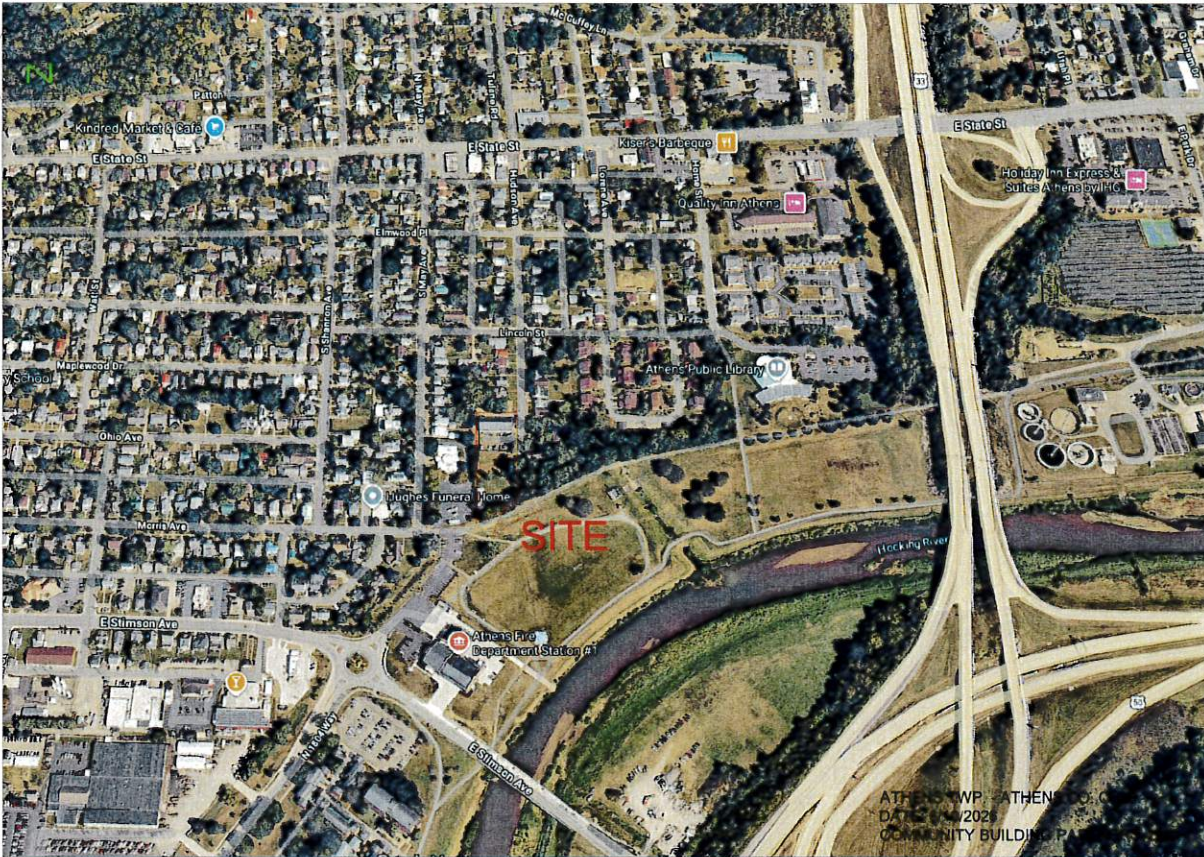
8-14-2026
Date

Printed Name: ANDREW FRISBIE

This document is submitted in support of the Preliminary PUD Plan for the Welcome Home Ohio – Athens project and is intended to satisfy the textual and informational requirements of Athens City Code § 21.09. Plan drawings are provided under separate cover.

VICINITY MAP

CITY OF ATHENS OHIO, 45701, USA



SITE LATITUDE/LONGITUDE
(39.334096, -82.087529)

SITE GPS Coordinates
39° 20' 2.7456" N
82° 5' 15.1044" W

DATE 6.28.26 SHEET C101 SCALE 1:50 SITE LOCATION

93 HUDSON AVE
ATHENS, OH 45701

PARCEL: A027180001700
A027180001600

PROJECT:

WELCOME
HOME
OHIO
AT 93 HUDSON AVE

PREPARED FOR:
CITY OF
ATHENS
OHIO



DEVELOPER AND DESIGNER:
COMMUNITY BUILDING
PARTNERS



No.	DATE	REVISION	BY
2	6.22.26	COMMENTS FROM CLIENT	cbp
1	4.14.26	COMMENTS FROM CLIENT	cbp

PARCEL IDENTIFICATION



DATE 4.14.26	SHEET C102	SCALE 1:50
1	4.14.26	COMMENTS FROM CLIENT
No.	DATE	REVISION

SITE LOCATION
93 HUDSON AVE
ATHENS, OH 45701
 PARCEL: A027180001700
 A027180001600

PROJECT:
WELCOME HOME OHIO
 AT 93 HUDSON AVE

PREPARED FOR:
CITY OF ATHENS OHIO



DEVELOPER AND DESIGNER:
COMMUNITY BUILDING PARTNERS



WELCOME HOME OHIO

LEGEND	A: R-3 ZONE; B: R-1 ZONE; C: PUBLIC PARK	9. NEW CUL-DE-SAC DRIVE AND SIDEWALK	12. 6' PRIVACY FENCE	15. STIMSON AVE
	1-7. 1,500SF HOMES W/ SOLAR & 2CAR GARAGE	10. COMMON OPEN SPACE WITH SHARED WALK	13. ADENA BIKE PATH	16. RED CROSS
	8. ADA - ACCESSIBLE HOME	11. NEW 8" HUDSON WATER LINE & SIDEWALK TO LINCOLN	14. FIRE STATION	17. FUNERAL HOME



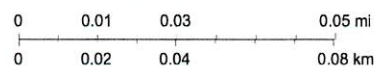


6/24/2026, 2:33:49 PM

City of Athens, Ohio 45701

- A - Residential Zone 3 - Multifamily
- B - Residential Zone 1 - Single Family
- C - Soccer field, public park, bike/walking path

1:1,480



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, (c) OpenStreetMap contributors, and the GIS User Community.
 Sources: Esri, Vantor, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA,

MASTER PLAN AREA ZONING

DATE 6.28.26		SHEET C104		SCALE 1:50	
No.	DATE	REVISION	BY	DATE	REVISION
2	6.22.26	COMMENTS FROM CLIENT	cbd		
1	4.14.26	COMMENTS FROM CLIENT	cbd		

SITE LOCATION
 93 HUDSON AVE
 ATHENS, OH 45701
 PARCEL: A027180001700
 A027180001600

PROJECT:
 WELCOME
 HOME
 OHIO
 AT 93 HUDSON AVE

PREPARED FOR:
 CITY OF
 ATHENS
 OHIO



DEVELOPER AND DESIGNER:
 COMMUNITY BUILDING
 PARTNERS



PARENT TRACTS DIMENSIONS



Parcel Identification

Parcel 1: Part of Auditor's Parcel A02-71800017-00 (93 Hudson Avenue), approximately .504 acres (to be finalized post-plat).
 Parcel 2: A02-71800016-00, Adjacent parcel/lot split portion within the same block, totalling combined surveyed area suitable for R-3 multi-family or mixed residential development.
 Zoning: R-3 (Multi-Family Residential District, City of Athens Zoning Code).
 Current Improvements: Remnants of prior industrial/storage use (circa 1900 structure noted on records).

General Notes

All bearings and distances are referenced to the Ohio State Plane Coordinate System, North Zone, NAD 83 (or current datum as applicable), unless otherwise noted.
 Horizontal control established using GPS observations tied to NGS CORS stations and local benchmarks. Vertical control referenced to NAVD 88.
 Monuments found and set per Ohio Revised Code and Athens County conveyance standards.

Field notes recorded in standard bound field memo with weather conditions, crew, and material details.
 Tract notes collected in accordance with the Minimum Standards for Boundary Surveys in the State of Ohio (as adopted by the Ohio State Board of Registration for Professional Engineers and Surveyors).

Topographic and Elevation Notes

Average ground elevation across the parcels: 635 feet (NAVD 88).

Topography: Generally level to gently sloping toward the Hocking River floodplain. Minor grading evident from prior site use.

Key features: Hudson Avenue frontage to the east; proximity to Stimson Avenue roundabout infrastructure; northern boundary influences from Near East neighborhood unimproved alley.

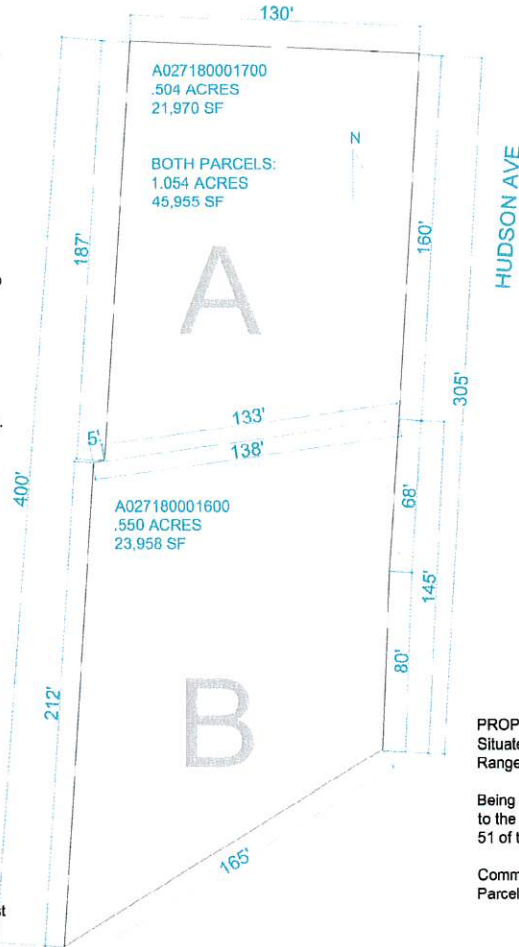
No significant structures observed impacting boundaries beyond the noted existing city storage building footprint.

Floodplain Information

The subject parcels lie within the Special Flood Hazard Area (SFHA) Zone AE as delineated on the FEMA Flood Insurance Rate Map (FIRM) for Athens County, Ohio (effective study dated May 9, 2024).

Accessed online via City of Athens website on June 11, 2026.
 NFIP Map Number: 39009C010D Map Revised Sep. 26, 2024
 Base Flood Elevation (BFE): 641 feet (NAVD 88).

Ground elevations average approximately 6 feet below BFE, placing the site firmly in the flood fringe / regulatory floodplain.
 Recommendations: All proposed structures, grading, and fills must comply with City of Athens Floodplain Regulations and National Flood Insurance Program (NFIP) requirements. Elevation certificates required. Base flood considerations for lowest floor elevations, floodventing, and storage.



PROPERTY DESCRIPTION

Situated in Athens County, Lease Lots 43 and 44, Town 9 North, Range 14 West, Ohio University Leasehold Lands.

Being all of Lots 829, 830, 831, 832, and 833 of Hudson's Addition to the City of Athens as platted and recorded in Plat Book 3, Page 51 of the records of Athens County.

Commonly known as: 93 Hudson Avenue, Athens, Ohio 45701.
 Parcel ID No.: A027180001700 and A027180001600

MORRIS AVE

TOTAL AREA
1.054 ACS.
(45,955 SQ. FT.)

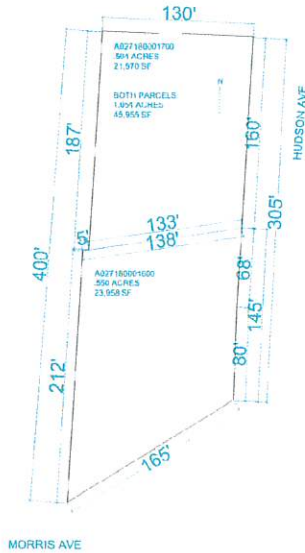
ATHENS TWP. - ATHENS CO. OHIO
 DATE: 6/10/2026
 COMMUNITY BUILDING PARTNERS, LLC.

DATE 4.16.26	SHEET C105	SCALE 1:50	SITE LOCATION	PROJECT:	PREPARED FOR:	DEVELOPER AND DESIGNER:
			93 HUDSON AVE ATHENS, OH 45701	WELCOME HOME OHIO AT 93 HUDSON AVE	CITY OF ATHENS OHIO	COMMUNITY BUILDING PARTNERS
			PARCEL: A027180001700 A027180001600			
1	4.14.26	COMMENTS FROM CLIENT	cbp			
No.	DATE	REVISION	BY			

CHILD PARCELS DIMENSIONS



PARENT TRACTS



CHILD PARCELS:

PARENT TRACT A: A027180001700

1. 6,005 SF, 0.14 ACRE
2. 5,835 SF, 0.134 ACRE
3. 5,623 SF, 0.131 ACRE
4. 5,485 SF, 0.126 ACRE

PARENT TRACT B: A027180001600

1. 7,073 SF, 0.162 ACRE
2. 6,502 SF, 0.149 ACRE
3. 5,916 SF, 0.138 ACRE
4. 5,480 SF, 0.126 ACRE

General Notes

All bearings and coordinates shown on the plat are referred to the Ohio Grid South - NAD 83 (2011) (Ohio State Plane Coordinate System, South Zone, NAD83).

All distances shown on this plat are horizontal ground distances, in U.S. Survey Feet.

The survey grid is oriented using site control points with the following coordinates.

DEED REFERENCE

General Warranty Deed from The City of Athens, Ohio to Community Building Partners, LLC, dated May 16, 2026, recorded date/instrument no. from final stamp, e.g., Instrument No. 202600002119, OR 635, Page 601.

Prior Instrument References: Vol. 251, Page 1588, Inst. No. 9700003365; Vol. 146, Page 547; Vol. 152, Page 411; Vol. 60, Pg. 78.

ATHENS TWP. - ATHENS CO. OHIO

DATE: 6/10/2026

COMMUNITY BUILDING PARTNERS, LLC.

DATE 4.14.26 SHEET C106 SCALE 1:50

SITE LOCATION

93 HUDSON AVE
ATHENS, OH 45701

PARCEL: A027180001700
A027180001600

PROJECT:

WELCOME
HOME
OHIO
AT 93 HUDSON AVE

PREPARED FOR:

CITY OF
ATHENS
OHIO



DEVELOPER AND DESIGNER:

COMMUNITY BUILDING
PARTNERS



1 No. 4.14.26 COMMENTS FROM CLIENT cbp
DATE REVISION BY



TOPOGRAPHIC SITE SURVEYING OVERLAY



Flood Fringe Information:

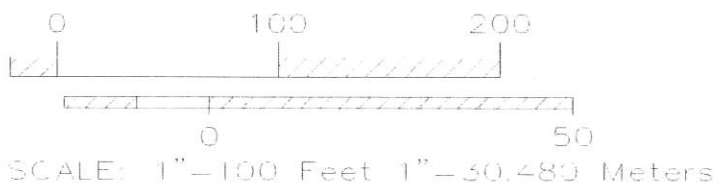
This site is located in a Special Flood Hazard Area (SFHA) per effective FEMA Flood Insurance Rate Map (FIRM) for Athens County, Ohio.

100-Year Base Flood Elevation (BFE): 641.0 feet (NAVD 88)

Existing site grade at proposed building areas: approximately 635.0 feet (NAVD 88)

All proposed structures shall have the lowest finished floor elevated to or above the BFE in accordance with Athens County Flood Damage Reduction Regulations and NFIP requirements.

Minimum elevation of lowest floor shall be at or above 641.0 ft (BFE). Freeboard recommended per best practices.



100 YEAR BASE FLOOD ELEVATION (BFE):

641'

500 YEAR BFE:

642'

DATE 4.14.26 SHEET C107 SCALE 1:50

1	4.14.26	COMMENTS FROM CLIENT	cbp
No.	DATE	REVISION	BY

SITE LOCATION

93 HUDSON AVE
ATHENS, OH 45701

PARCEL: A027180001700
A027180001800

PROJECT:

WELCOME
HOME
OHIO
AT 93 HUDSON AVE

PREPARED FOR:

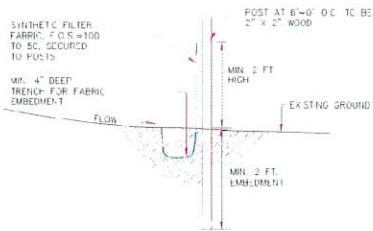
CITY OF
ATHENS
OHIO



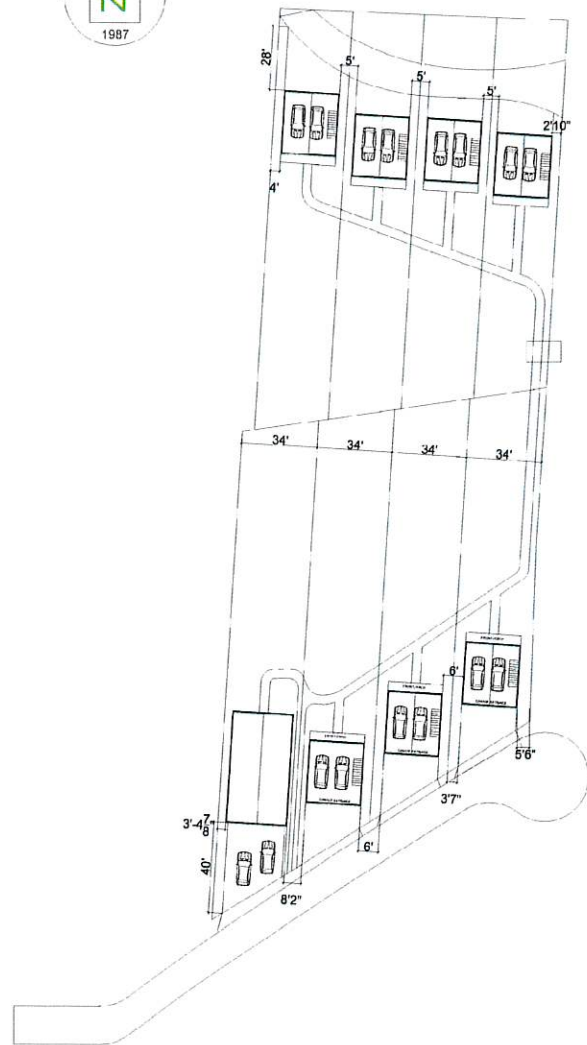
DEVELOPER AND DESIGNER:

COMMUNITY BUILDING
PARTNERS



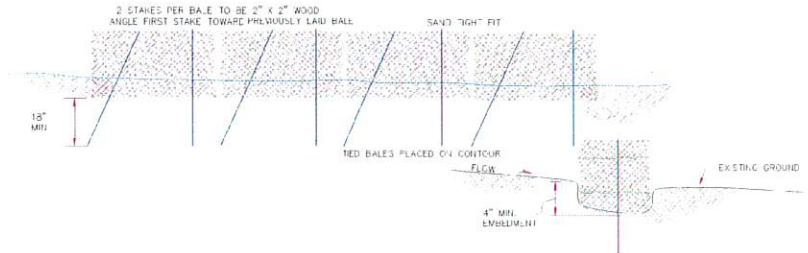


SILT FENCE

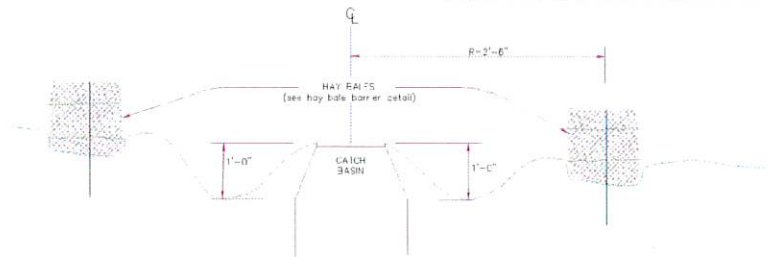


CONSTRUCTION SEQUENCE

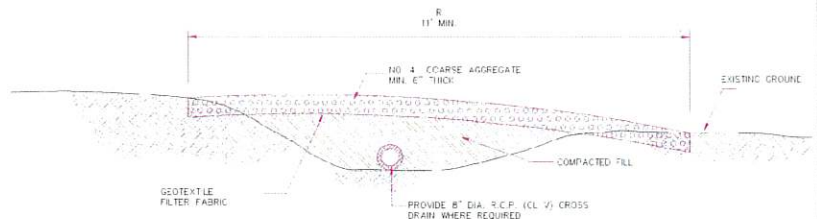
1. CLEAR AND GRUB SITE ACCORDING TO PLANS. CUT AND DISPOSE OF ANY DEBRIS PRODUCED DURING THE CLEARING AND GRUBBING ACTIVITY.
2. FURNISH AND INSTALL CONSTRUCTION FENCING ALONG THE PROPERTY LINES OF THE HUDSON DRIVE RESIDENTIAL LOTS AND SOUTH LINE. (SEE SITE PLAN).
3. CONSTRUCT HAY BALE BARRIER ALONG THE NORTH AND SOUTH AS SHOWN ON THE EROSION CONTROL PLAN.
4. CONSTRUCT TEMPORARY CONSTRUCTION GATE AT THE END OF HUDSON.
5. BEGIN SITE GRADING OF PAVING AREAS, BUILDING PAD AND UTILITY RUNS. CUT SLOPES ALONG THE EASTERN PROPERTY LINE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND DETAILS AND SEEDED AND MULCHED AFTER BEING CONSTRUCTED. THE AREA BEING PROPOSED FOR STORMWATER MANAGEMENT AREA 'A' SHALL REMAIN IN ITS CURRENT STATE AND BE USED AS A TEMPORARY SEDIMENT BASIN DURING THE EARTHWORK OPERATION. STORMWATER MANAGEMENT AREAS BE CONSTRUCTED TO SUBGRADE AND USED AS TEMPORARY SEDIMENT BASINS.
6. INSTALLATION OF UNDERGROUND UTILITIES AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT IN ACCORDANCE WITH THE "SEDIMENT CONTROL AT CATCH BASIN DETAIL". THE CONTROL SHALL REMAIN UNTIL THE SITE IS SUFFICIENTLY STABILIZED.
7. AS THE SITE IMPROVEMENTS ARE BEING COMPLETED, ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED. PRIOR TO THE FINAL PAVING OF THE DRIVES AND WALKS, STORMWATER MANAGEMENT AREAS SHALL BE CONSTRUCTED AND CONTAIN A STAND OF GRASS.
8. FINAL PAVING OF ALLEY AND DRIVES.
9. INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES.
10. REMOVE ANY TEMPORARY CONTROL MEASURES NOT NEEDED.
11. DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY ADEQUATE USE OF WATER.



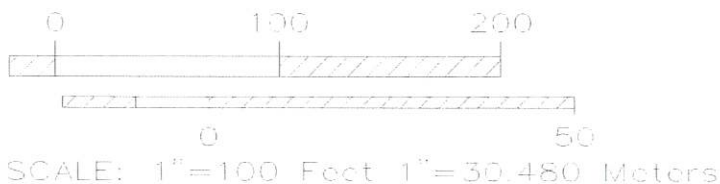
BALE BARRIER



SEDIMENTATION CONTROL AT CATCH BASINS



STABILIZED CONSTRUCTION ENTRANCE DETAIL



DATE 4.14.26 SHEET C108 SCALE 1:50 SITE LOCATION

93 HUDSON AVE
ATHENS, OH 45701
PARCEL: A027180001700
A027180001600

PROJECT:

WELCOME
HOME
OHIO
AT 93 HUDSON AVE

PREPARED FOR:

CITY OF
ATHENS
OHIO



DEVELOPER AND DESIGNER:

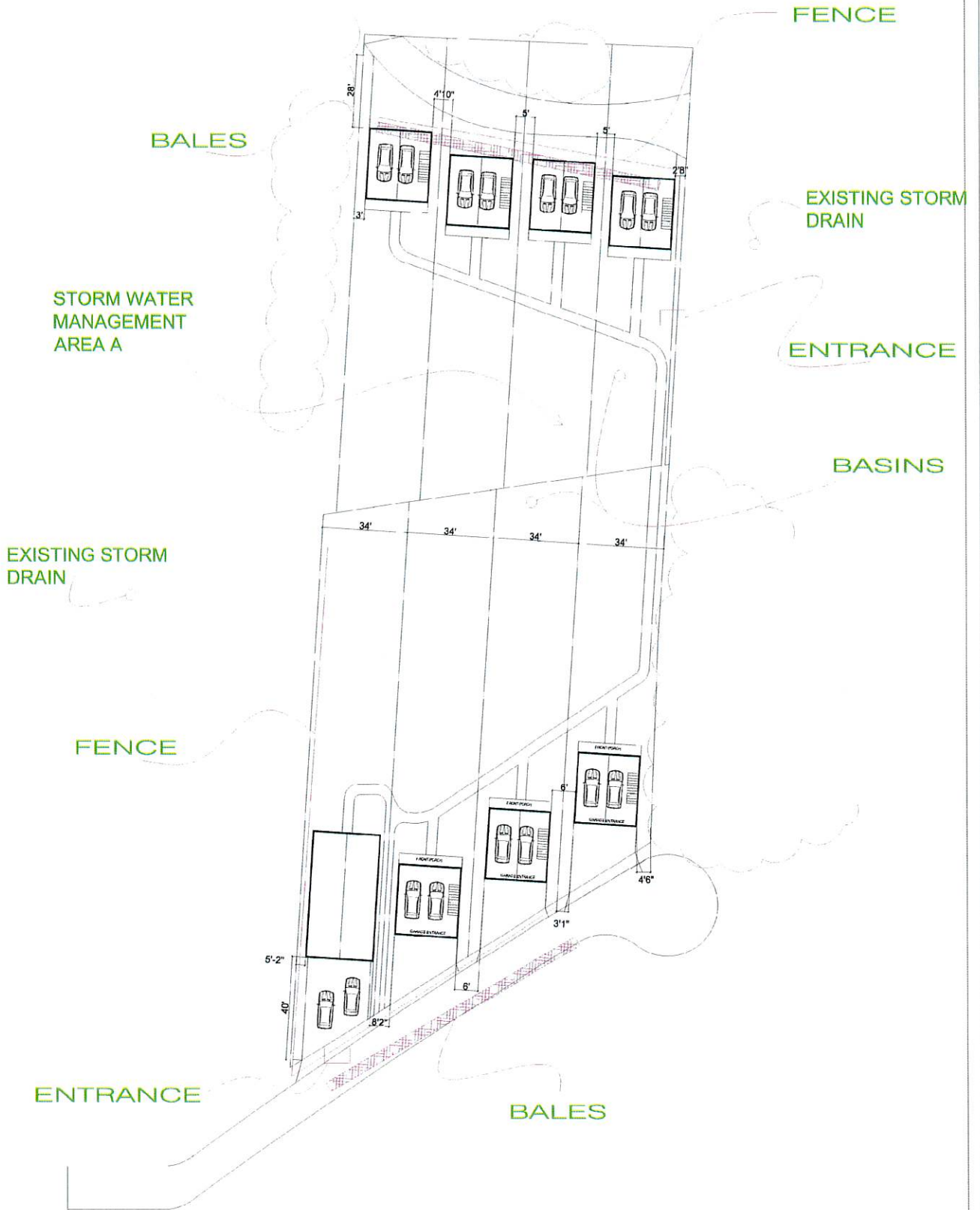
COMMUNITY BUILDING
PARTNERS



No.	DATE	REVISION	BY
1	4.14.26	COMMENTS FROM CLIENT	cbp



PRE-CONSTRUCTION MANAGEMENT



DATE	4.14.26	SHEET	C109	SCALE	1:50
1	4.14.26	COMMENTS FROM CLIENT	cbp		
No.	DATE	REVISION	BY		

SITE LOCATION
 93 HUDSON AVE
 ATHENS, OH 45701
 PARCEL: A027180001700
 A027180001600

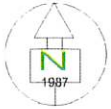
PROJECT:
 WELCOME
 HOME
 OHIO
 AT 93 HUDSON AVE

PREPARED FOR:
 CITY OF
 ATHENS
 OHIO



DEVELOPER AND DESIGNER:
 COMMUNITY BUILDING
 PARTNERS





NOTES

- 1 ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES TO BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS THEREOF IN "STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS OF ATHENS, OHIO".
- 2 THE WORK AREA SHALL BE GRADED, SHAPED, AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMIZE SOIL EROSION, SILTATION OF DRAINAGE CHANNELS, DAMAGE TO EXISTING VEGETATION, AND DAMAGE TO PROPERTY OUTSIDE THE LIMITS OF THE WORK AREA. SILT FENCES, HAY BALES AND/OR DETENTION BASINS WILL BE NECESSARY TO ACCOMPLISH THIS END.
- 3 STRIPPED TOPSOIL SHALL BE STOCKPILED, WITHOUT COMPACTION, AND STABILIZED AGAINST EROSION IN THE LOCATION SHOWN ON THE PLAN AND IN ACCORDANCE WITH "TEMPORARY STABILIZATION OF DISTURBED AREAS".
- 4 STABILIZED CONSTRUCTION ENTRANCES SHALL BE CONSTRUCTED OF #1 COARSE AGGREGATE 4" THICK (MIN.) OVER COMPACTED FILL OR CUT AREAS TO PREVENT OFF-SITE TRACKING.
- 5 TEMPORARY STABILIZATION OF DISTURBED AREAS:
 - A SEED BED PREPARATION: TOPSOIL SHALL BE PLACED OVER ALL DISTURBED AREAS IN A 4" (MIN.) THICK LAYER AND SHALL BE FREE OF TREE ROOTS, WEEDS, STONES LARGER THAN 1/2", AND OF OTHER DEBRIS. 10-20 FERTILIZER SHALL BE APPLIED AT A RATE OF 100 LBS. PER 1000 S.F., AND SHALL BE INCORPORATED INTO THE SOIL BY TILLING TO A DEPTH OF 4".
 - B RECOMMENDED SEED MIXTURES:

SEED MIXTURE SPECIES	RATE PER 1000 S.F.	DEPTH	SEEDING DATES
WINTER RYE	2.5 LBS.	1"	8/15 TO 9/5
OATS	2.5 LBS.	1"	4/15 TO 10/15
ARIZONA RYE GRASS	1.0 LBS.	0.25"	4/15 TO 6/1 OR 8/15 TO 9/15

- B MULCHING: MULCH SHOULD BE USED ON HIGHLY ERODABLE AREAS AND WHERE CONSERVATION OR MAINTENANCE OF PLANT ESTABLISHMENT AS FOLLOWS:

TYPE	RATE PER 1000 S.F.	USE & COMMENTS
HAY OR STRAW	70 TO 90 LBS.	MAY BE USED WITH PLANTINGS, MUST BE ANCHORED TO BE USED ALONE.
WOOD CHIPS OR BARK MULCH	460 TO 920 LBS.	USED WITH TREE AND SHRUB PLANTINGS.
FIBROUS MATTING	AS RECOMMENDED BY MANUFACTURER	MUST BE BIODEGRADABLE USE IN SLOPED AREAS AND AREAS DIFFICULT TO VEGETATE.
CRUSHED STONE 1/4" TO 1/2" DIA.	SPREAD TO GREATER THAN 1/2" THICKNESS	USE IN SPECIFIC AREAS AS SHOWN ON PLAN OR AS NEEDED.

- 6 PERMANENT STABILIZATION OF DISTURBED AREAS

- A SEED BED PREPARATION: TOPSOIL SHALL BE PLACED OVER ALL DISTURBED AREAS IN A 4" (MIN.) THICK LAYER AND SHALL BE FREE OF TREE ROOTS, WEEDS, STONES LARGER THAN 1/2", AND OF OTHER DEBRIS. 10-20 FERTILIZER SHALL BE APPLIED AT A RATE OF 100 LBS. PER 1000 S.F., AND SHALL BE INCORPORATED INTO THE SOIL BY TILLING TO A DEPTH OF 4".

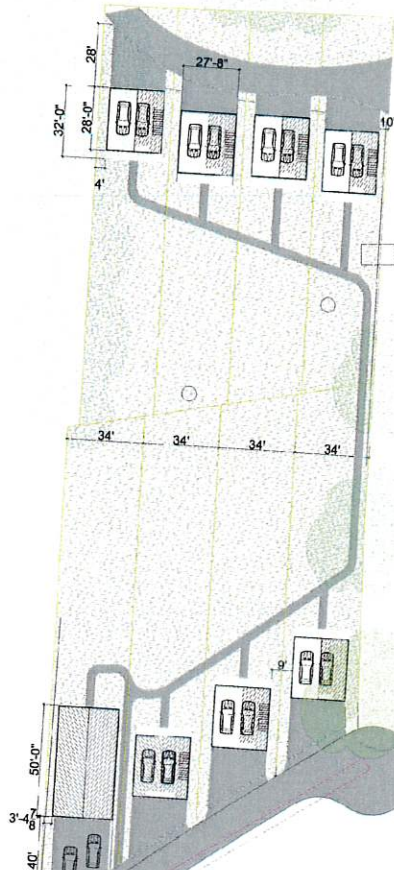
- B RECOMMENDED SEED MIXTURES:

MIXTURE	RATE PER 1000 S.F.	GENERAL LOCATION
1		
TAI FESCUE	0.45 LBS.	SLOPES & SWALES
CREeping RED FESCUE	0.45 LBS.	
BIRD'SFOOT TREFOIL	0.20 LBS.	
TOTAL	1.10 LBS.	
2		
CREeping RED FESCUE	1.15 LBS.	ALL OTHER AREAS
KENTUCKY BLUEGRASS	1.0 LBS.	
TOTAL	2.20 LBS.	

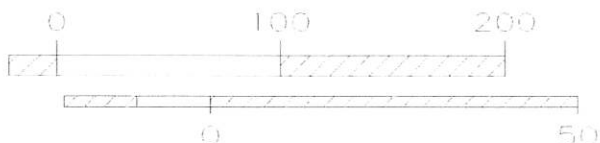
NOTE: ALL PLANTINGS SHALL BE MADE FROM 9/15 TO 5/20 OR FROM 8/10 TO 9/1. IF SEEDING AREAS ARE MULCHED, THEN PLANTINGS MAY BE MADE FROM 4/15 TO 10/15.

- C MULCHING: AS SPECIFIED UNDER "TEMPORARY STABILIZATION OF DISTURBED AREAS" SEE NOTE 5 ABOVE.

- D SEEDING: PREPARE SEED BED AS SPECIFIED IN NOTE 6A ABOVE. SOD SEED SHALL BE CULTIVATED SOD FREE FROM WEEDS AND UNDESIRABLE WEEDY GRASSES. SOD SHALL BE HARVESTED, DELIVERED, AND PLACED WITHIN 36 HOURS. SEED STRIPS SHALL BE PLACED ON THE CONTOUR ON MOIST TOPSOIL WITH WATERING. ALL VIEWS SHALL BE FILLED WITH TOPSOIL. SOD PLACED IN SWALES, SHALL BEGIN AT THE LOWER END AND PROCEED UPWARD.



EXISTING
SOCCER FIELD
PARK/BIKE PATH



SCALE: 1"=100 Feet 1"=30.480 Meters

DATE 4.14.26 SHEET C110 SCALE 1:50 SITE LOCATION

93 HUDSON AVE
ATHENS, OH 45701
PARCEL: A027180001700
A027180001600

PROJECT:

WELCOME
HOME
OHIO
AT 93 HUDSON AVE

PREPARED FOR:

CITY OF
ATHENS
OHIO



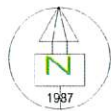
DESIGNED BY AND DESIGNED BY:

COMMUNITY BUILDING
PARTNERS



1	4.14.26	COMMENTS FROM CLIENT	cbp
No.	DATE	REVISION	BY

UTILITIES



AEP OVERHEAD
ELECTRIC

2" PLASTIC GAS

AEP OVERHEAD
ELECTRIC

2" WATER

8" NEW WATER

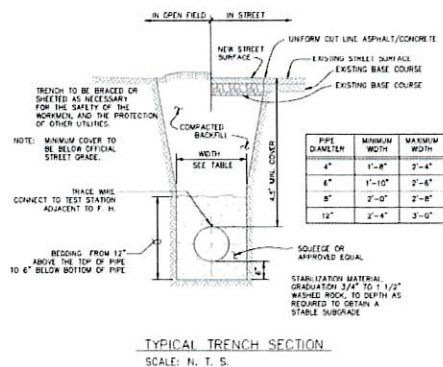
MANHOLE

SDR 35 8"
GASKETED
SEWER

6" STEEL COATED GAS

4" WATER

TO MORRIS AVE



DATE 4.14.26		SHEET C111		SCALE 1:50		SITE LOCATION	
1	4.14.26	COMMENTS FROM CLIENT		cbp			
No.	DATE	REVISION		BY			

93 HUDSON AVE
ATHENS, OH 45701
PARCEL: A027180001700
A027180001600

PROJECT:
WELCOME
HOME
OHIO
AT 93 HUDSON AVE

PREPARED FOR:
CITY OF
ATHENS
OHIO

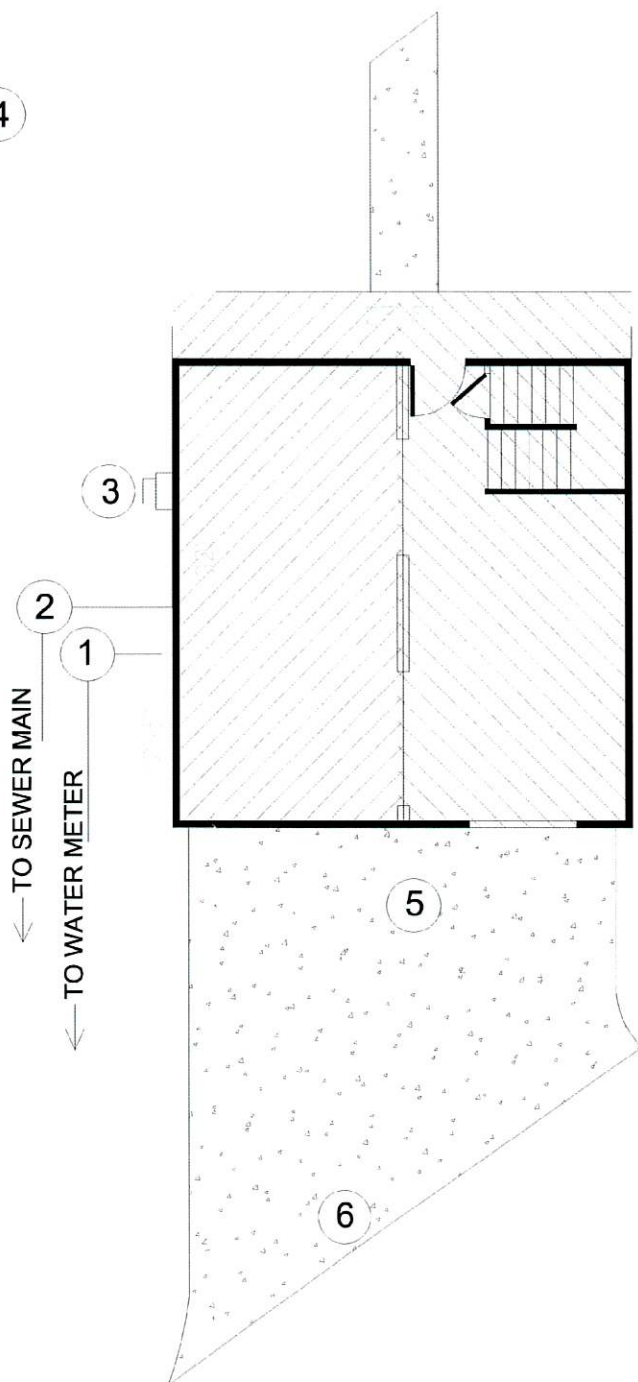


DEVELOPER AND DESIGNER:
COMMUNITY BUILDING
PARTNERS





4



Notes:

1. PROVIDE WATERLINE EXT. FROM THE CITY TAP AND METER INTO THE FOUNDATION PER CITY OF ATHENS PERMIT REQUIREMENTS (SHEET 2 GEN. NOTES) OWNER TO APPLY & OBTAIN WATER PERMIT & METER.
2. NEW 4" SANITARY TIE-IN TO EXISTING CITY MAIN AND CONNECT TO PLUMBING SYSTEM WITHIN THE BASEMENT, PER CITY OF ATHENS REQUIREMENTS. OWNER TO APPLY AND OBTAIN SEWER PERMIT.
3. NEW ELECTRIC METER CENTER TO BE SUPPLIED AND PLACED BY THE ELECTRICAL CONTRACTOR. ELECTRICAL CONTRACTOR TO FILE, PAY & OBTAIN THE ELECTRICAL PERMIT THROUGH THE CITY OF ATHENS BUILDING DEPT. ELECTRICAL CONTRACTOR TO COORDINATE & ATTEND ALL INSPECTIONS REQUIRE WITHIN THE PERMIT. PROVIDE COMMUNITY BUILDING PARTNERS A COPY OF THE ELECTRICAL PERMIT.
4. WHERE EXISTING ELECTRIC SERVICE POLE MAY BE LOCATED OR WHERE ELECTRIC SERVICE IS REQUIRED (WIRE TO WIRE CONNECTION) THE ELECTRICAL CONTRACTOR WILL COORDINATE THE ACTIVATION SERVICE AND INSPECTIONS WITH AEP (CLAYTON WHIDEN 740-752-3394)
5. PROVIDE NEW 4" CONCRETE DRIVEWAY, PARKING PADS & WALKS AS SHOWN PER SHEET 2 GENERAL NOTES SHEET ATTACHED & THE CITY OF ATHENS REQUIREMENTS. OWNER TO APPLY & OBTAIN DRIVE PERMIT. WHEN EXISTING APRON IS IN PLACE, ALIGN DRIVE WITH APRON.
6. PROVIDE 6" CONCRETE APPROACH APRON AS INDICATED ON THE DRAWING PER CITY OF ATHENS REQUIREMENTS, PER SHEET 2 GENERAL NOTES. OWNER TO PROVIDE PERMIT.



DATE 4.14.26 SHEET C112 SCALE 1:50

SITE LOCATION

93 HUDSON AVE
ATHENS, OH 45701

PARCEL: A027180001700
A027180001600

PROJECT:

WELCOME
HOME
OHIO
AT 93 HUDSON AVE

PREPARED FOR:

CITY OF
ATHENS
OHIO

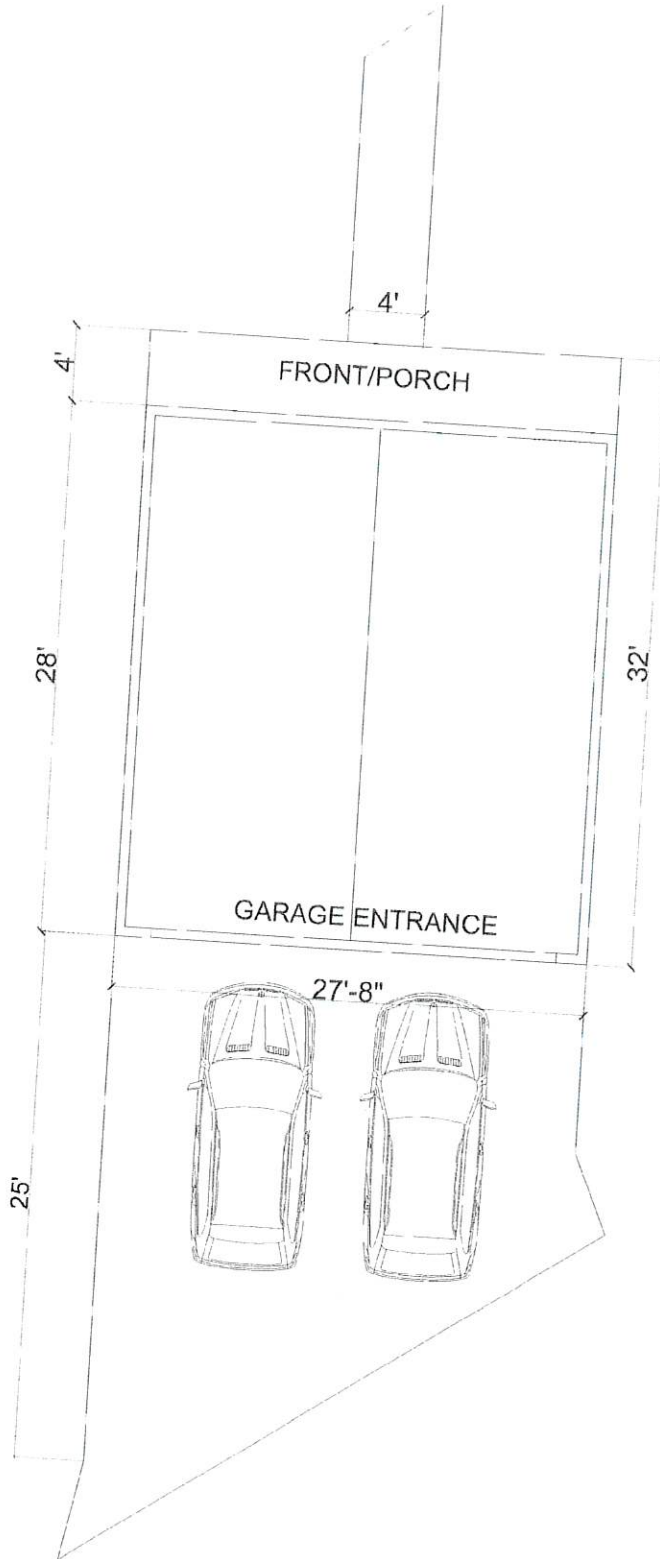


DEVELOPER AND DESIGNER:

COMMUNITY BUILDING
PARTNERS



No.	DATE	REVISION	BY
1	4.14.26	COMMENTS FROM CLIENT	cbp



DATE 4.14.26	SHEET C113	SCALE 1:50
1	4.14.26	COMMENTS FROM CLIENT
No.	DATE	REVISION
		BY

SITE LOCATION
93 HUDSON AVE
ATHENS, OH 45701
 PARCEL: A027180001700
 A027180001600

PROJECT:
WELCOME
HOME
OHIO
 AT 93 HUDSON AVE

PREPARED FOR:
CITY OF
ATHENS
OHIO



DEVELOPER AND DESIGNER:
COMMUNITY BUILDING
PARTNERS

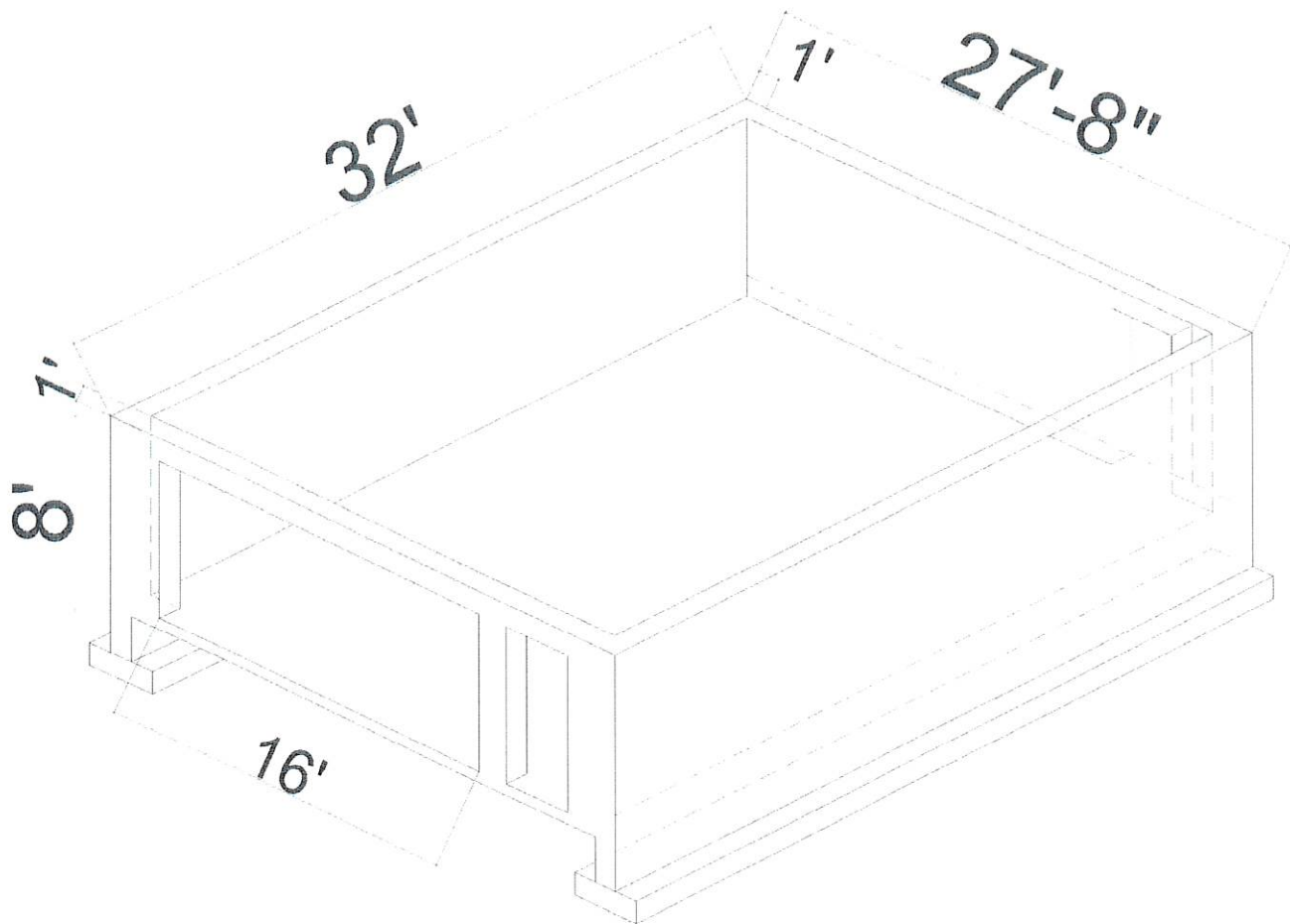




DATE 4.14.26		SHEET C114		SCALE 1:50		SITE LOCATION		PROJECT:		PREPARED FOR:		DEVELOPER AND DESIGNER:	
						93 HUDSON AVE ATHENS, OH 45701		WELCOME HOME OHIO		CITY OF ATHENS OHIO		COMMUNITY BUILDING PARTNERS	
						PARCEL: A027180001700 A027180001600		AT 93 HUDSON AVE					
1		4.14.26		COMMENTS FROM CLIENT		cbp							
No.		DATE		REVISION		RY							



CONCRETE BLOCK Garage DESIGN



Foundation: 4" concrete slab on footers

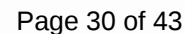
Wall: standard 8x8x16 block, with header for garage and man doors
This is a 2 car garage with 2 man-doors, 8 foot ceiling.

The build site is on flat ground.

DATE 4.14.26	SHEET C115	SCALE 1:50	SITE LOCATION	PROJECT:	PREPARED FOR:	DEVELOPER AND DESIGNER:
			HUDSON AVE ATHENS, OH 45701		Sub Contractor	COMMUNITY BUILDING PARTNERS
1	4.14.26	COMMENTS FROM CLIENT	cbp			
No	DATE	REVISION	BY			



DEVELOPER AND DESIGNER:
COMMUNITY BUILDING
PARTNERS



FEASIBILITY STUDY

Water and Sanitary Sewer Facilities

Welcome Home Ohio – Eight (8) Single-Family Homes

93 Hudson Avenue, Athens, Ohio
Parcels A027180001700 & A027180001600
1.054 Acres | Near East Neighborhood

Prepared for: Community Building Partners / City of Athens Preliminary PUD Application
Date: August 14, 2026 | **Prepared by:** Site Development / Preconstruction Engineering Support

1. Purpose and Scope

This Feasibility Study evaluates the adequacy and constructability of public water and sanitary sewer facilities to serve eight (8) owner-occupied, fee-simple, single-family homes on approximately 1.054 acres at the terminus of Hudson Avenue. The study is prepared in support of the Preliminary Planned Unit Development (PUD) application under Athens City Code § 21.09 and addresses the City's requirement for a feasibility evaluation of sewer and water facilities for developments of two or more dwelling units.

The evaluation is based on site observations, on-site meetings with City Engineering staff, published City of Athens demand rates, Ohio EPA flow guidelines, and the specific utility improvements described by City Service and Safety Director Andy Stone and City Engineer Jarod Balderson.

2. Project Description

- Eight single-family, owner-occupied homes (fee-simple lots).
- Each home: 3-bedroom / 2-bath; one unit designed as ADA-compliant ranch.
- Maximum occupancy assumed: 5 persons per home.
- No irrigation systems planned.
- Site is currently vacant / storage (former City impound and American Red Cross storage use).
- Base zoning remains R-3 (multifamily residential). No change to underlying zoning is requested; the PUD functions as a site-specific overlay.
- Ground elevations approximately 635–638 ft. Finished floor elevations will be set above the Base Flood Elevation of 641. Site is relatively flat (less than 2 ft of elevation change across the property).
- Adjacent uses: three triplex condominium buildings and single-family homes.

3. Existing Conditions – Utilities

Water

Existing water service on Hudson Avenue consists of an aging 2-inch galvanized main. City Service and Safety Director Andy Stone has stated that the City will either improve the line or publicly bid a replacement consisting of approximately 8-inch Class 53 ductile-iron pipe with concrete coating, connecting to the existing 4-inch water line at the terminus of Morris Avenue. The site measures approximately 400 feet in length along its primary axis.

Sanitary Sewer

A City sanitary manhole is located approximately 40 feet south of the southern property line. The manhole is 10 feet deep and accesses a 36-inch diameter City sanitary sewer main. On-site meetings with City Engineer Jarod Balderson and staff confirmed the proposed connection point and required the installation of two new on-site manholes for accessibility and clean-out.

Fire Protection

The nearest public fire hydrant is located at the intersection of Hudson Avenue and Lincoln Avenue, within 400 feet of the site.

Stormwater (for reference)

The site currently drains adequately. Two stormwater basins are proposed and will connect to the City storm main at the terminus of Hudson Avenue. Stormwater is noted for completeness but is not the primary subject of this water/sewer feasibility evaluation.

4. Proposed Water System

The City will lead or publicly bid the replacement of the existing 2-inch galvanized main with 8-inch Class 53 ductile-iron pipe (concrete-coated) extending to the site and tying into the 4-inch main at Morris Avenue.

Each of the eight homes will be served by:

- Individual standard residential water meter (City-furnished upon payment of applicable fees)
- Standard residential meter pit
- 1-inch service lateral from the new main to the home

No water service lateral will exceed 60 feet in length. All services will be privately owned and maintained from the meter to the structure. The proposed configuration provides adequate domestic supply and is consistent with City standards for single-family residential development.

5. Proposed Sanitary Sewer System

- Installation of two (2) new sanitary manholes on-site.
- Approximately 450 linear feet of 8-inch SDR-35 PVC sewer main connecting the new manholes and extending to the existing City manhole located ~40 feet south of the southern property line.
- Average sewer depth on-site: 48 inches. Connection into the existing City manhole will occur at approximately 6 feet of depth.
- Each home served by a private 4-inch Schedule 40 PVC (bell-end) service lateral.
- No lateral will exceed 60 feet in length. Service lateral invert depths will be greater than 45 inches.

Gravity flow is feasible given the flat topography and available depth at the receiving City manhole. The layout and connection point have been reviewed and accepted in principle by City Engineering staff during on-site coordination.

6. Projected Water Demand and Sanitary Flow

The City of Athens Facilities Benefit Assessment (based on the Ohio EPA Flow Guide) assigns **400 gallons per day (gpd)** of water and sanitary demand to a single-family home. This rate is used for capacity and fee calculations.

Parameter	Value
Number of dwelling units	8
Demand per single-family home	400 gpd
Average daily demand / flow	3,200 gpd
Maximum occupancy (conservative)	5 persons/home × 8 = 40 persons
Peak factor (typical residential)	2.0 – 4.0
Estimated peak daily flow	6,400 – 12,800 gpd

No irrigation or other non-domestic uses are proposed. The 400 gpd single-family rate is the controlling figure used by the City for capacity analysis and tap/capacity fees.

7. System Capacity Evaluation

Water

The City of Athens public water system produces approximately 2.5 million gallons per day. The addition of 3,200 gpd average demand represents a negligible increase. The planned replacement of the undersized 2-inch galvanized

main with an 8-inch Class 53 ductile-iron main, as directed by City staff, will provide more than adequate capacity and pressure for domestic service and fire flow support.

Sanitary Sewer

The Athens Wastewater Treatment Plant has a design average capacity of 4.8 MGD and peak secondary treatment capacity of 10.6 MGD. The projected 3,200 gpd average flow from this project is insignificant relative to available plant capacity. The receiving 36-inch sewer main and the existing manhole have been identified by City Engineering as appropriate for connection. The addition of two on-site manholes improves long-term maintainability as required by City staff.

Fire Protection

A public hydrant exists within 400 feet of the site. Individual homes will be within acceptable hose-lay distances under typical residential standards. No additional on-site hydrants are required based on current information; final confirmation will occur during detailed plan review.

8. Constructability and Excavation Notes

- Site is essentially flat (<2 ft of relief).
- Average sewer trench depth of 48 inches is well within normal residential construction practices and does not require specialized shoring beyond standard trench boxes.
- Water and sewer laterals ≤60 ft keep excavation volumes modest and minimize disruption.
- Connection to the existing 10-ft-deep City manhole at ~6 ft depth is straightforward.

All work in public right-of-way or requiring connection to City mains will be coordinated with and inspected by City Engineering & Public Works.

9. Conclusions and Recommendations

1. Public water and sanitary sewer facilities are available and can adequately serve the eight proposed single-family homes.
2. The City's planned replacement of the existing 2-inch galvanized water main with an 8-inch Class 53 ductile-iron main resolves the primary existing deficiency and provides a reliable supply.
3. Gravity sanitary sewer service is feasible. The proposed 8-inch SDR-35 main, two new on-site manholes, and connection to the existing City manhole (accessing a 36-inch main) have been reviewed and accepted in concept by City Engineering.
4. Projected average demand of 3,200 gpd is well within the capacity of both the water distribution system and the Athens WWTP.
5. Individual metered water services and private 4-inch sewer laterals are consistent with City single-family standards.
6. No irrigation, no private lift stations, and no extraordinary utility upgrades beyond those already identified by City staff are required.

Recommendation: The proposed water and sanitary sewer facilities are feasible. Detailed construction plans should proceed to final design, City review, and permitting in accordance with Athens Engineering & Public Works standards and Ohio EPA requirements. Capacity/tap fees will be calculated by the City using the official 400 gpd single-family rate.

10. References / Coordination

- On-site review with Jarod Balderson, City Engineer, and Engineering staff.
- Direction from Andy Stone, Service and Safety Director, regarding water main replacement.
- City of Athens Facilities Benefit Assessment (Ohio EPA Flow Guide) – 400 gpd per single-family home.
- Athens WWTP design capacity data (4.8 MGD average / 10.6 MGD peak secondary).
- Project site data provided by Applicant (elevations, layout parameters, lateral lengths, and connection details).

ADDITIONAL INFORMATION FOR PRELIMINARY PLAN / PUD APPLICATION

Welcome Home Athens

Eight (8) Permanently Affordable Single-Family Homes

93 Hudson Avenue, Athens, Ohio 45701

Parcels A027180001700 & A027180001600 | 1.054 Acres | Near East Neighborhood

Applicant / Developer	Community Building Partners
In Partnership With	City of Athens, Ohio
Funding	Welcome Home Ohio Grant – Ohio Department of Development
Application Type	Preliminary Planned Unit Development (PUD) under Athens City Code § 21.09
Date of Submittal	August 14, 2026
Prepared By	Site Development / Preconstruction Engineering Support

PURPOSE OF THIS DOCUMENT

This document provides the additional information requested under the Preliminary Subdivision / PUD Application Checklist (Athens City Code and related subdivision regulations) for the Welcome Home Athens project at 93 Hudson Avenue. It addresses statements of proposed use, screening and buffering measures, grades and stormwater considerations, and other information necessary to demonstrate that the project creates buildable sites and promotes public health, safety, and welfare. A complete Water and Sanitary Sewer Facilities Feasibility Study is attached as **Exhibit A**.

1. STATEMENT OF PROPOSED USE OF LOTS

Type and number of dwelling units; ownership and affordability structure.

Project Overview

The project proposes the construction of **eight (8) permanently affordable, owner-occupied, single-family homes** on fee-simple lots. The development is funded through a Welcome Home Ohio grant awarded by the Ohio Department of Development to the City of Athens and is being advanced in partnership with Community Building Partners. The Mayor of Athens and City Engineering staff have publicly affirmed before City Council that this is a City of Athens priority project and have expressed support for expediting review to meet grant and construction deadlines.

Lot Configuration

Two existing parent tracts totaling 1.054 acres will be subdivided into eight (8) child parcels. Each lot will average approximately 5,600 square feet (0.131 acre), measuring roughly 33 feet in width by 200 feet in depth. All lots will be fee-simple ownership.

Dwelling Units

- Eight (8) single-family detached homes.
- Each home approximately 1,303 square feet of finished living area.

- Three (3) bedrooms and two (2) bathrooms per unit.
- One (1) unit designed as a single-story ADA-compliant ranch.
- Each home includes a first-floor garage / workshop and a driveway providing two additional off-street parking spaces.
- No multi-family, commercial, or industrial uses are proposed.

Affordability & Occupancy Restrictions

Each home will be sold for a maximum price of **\$180,000** to income-qualified, owner-occupant buyers under the terms of the Welcome Home Ohio program. The homes are intended to attract young professionals and families to Athens and to provide quality homeownership opportunities that remain permanently affordable. Standard Welcome Home Ohio deed restrictions (including owner-occupancy and resale restrictions) will apply.

Zoning

The underlying zoning is R-3 (multifamily residential). No change to the base zoning district is requested. The Planned Unit Development (PUD) functions as a site-specific overlay that allows the proposed single-family fee-simple lot configuration and related site improvements while remaining consistent with the residential character of the Near East Neighborhood.

2. SCREENING, BUFFERING, AND LANDSCAPE MEASURES

The following measures are proposed to provide privacy, visual buffering, and compliance with City of Athens Shade Tree Commission guidelines:

Privacy Fence

A continuous six-foot (6 ft) privacy fence will be installed along the western property line shared with the American Red Cross parcel. This fence provides immediate visual screening and privacy between the new residential lots and the adjacent institutional use.

Shade Tree Commission Compliance

In accordance with Athens Shade Tree Commission guidelines, the project will plant **two to three (2–3) large-caliper trees from the City’s approved species list for every 1,550 square feet of hardscape**. Based on the projected hardscape area, a total of **fifteen to sixteen (15–16) trees** will be installed. Tree locations will be coordinated with final utility and driveway layout and will emphasize street-front and perimeter buffering.

Additional Buffering

The proposed lot depths (~200 ft) and the 6-ft privacy fence, combined with the required shade trees, provide substantial separation from adjacent residential and institutional uses. No additional noise-abatement structures are required given the purely residential character of the proposed development and the existing neighborhood context (triplex condominiums and single-family homes).

3. PRESENT AND PROPOSED GRADES AND STORMWATER DRAINAGE

A drawing of present and proposed grades and facilities for storm water drainage is required where natural drainage is altered. The following narrative summarizes existing conditions and the proposed approach; detailed grading and stormwater plans will be submitted with final construction documents.

Existing Conditions

The site is relatively flat, with ground elevations ranging approximately 635–638 feet. Natural elevation change across the property is less than two (2) feet. The site currently drains adequately toward existing City storm infrastructure at the terminus of Hudson Avenue. The property lies within a mapped floodplain; the Base Flood Elevation (BFE) is 641 feet.

Proposed Grades and Fill

Finished floor elevations of all homes will be established above the Base Flood Elevation of 641 feet. Site fill will be placed as necessary to achieve compliant finished grades while maintaining positive drainage away from structures. Because the existing site is essentially level, the volume of cut/fill is modest and will be managed to minimize disruption to adjacent properties and existing drainage patterns.

Stormwater Management

Two (2) stormwater basins are proposed on-site. These basins will collect and attenuate runoff from roofs, driveways, and the shared access drive, and will discharge to the existing City storm main located at the terminus of Hudson Avenue. The design will comply with City of Athens and Ohio EPA stormwater management requirements for residential development. A formal stormwater management plan and erosion-and-sediment-control plan will be prepared by a registered Professional Engineer and submitted for City review prior to construction.

Erosion and Sediment Control

During construction, standard best-management practices (silt fence, inlet protection, stabilized construction entrance, and temporary seeding) will be employed to prevent off-site sedimentation. Permanent stabilization will occur upon completion of grading and landscaping.

4. FEASIBILITY STUDY – WATER AND SANITARY SEWER FACILITIES

A complete Feasibility Study evaluating public water and sanitary sewer facilities for the eight proposed dwelling units has been prepared and is attached hereto as **Exhibit A**. Key conclusions are summarized below.

Summary of Findings

- Public water and sanitary sewer facilities are available and can adequately serve the eight proposed single-family homes.
- The City will lead or publicly bid replacement of the existing undersized 2-inch galvanized water main on Hudson Avenue with approximately 8-inch Class 53 ductile-iron pipe (concrete-coated), connecting to the existing 4-inch main at Morris Avenue. This improvement was confirmed by City Service and Safety Director Andy Stone (meeting of August 5, 2026).
- Each home will receive a standard residential water meter, meter pit, and 1-inch service lateral (≤60 ft).
- Sanitary service will consist of approximately 450 linear feet of 8-inch SDR-35 PVC main, two new on-site manholes, and private 4-inch Schedule 40 PVC laterals connecting to an existing City manhole (~40 ft south of the southern property line) that accesses a 36-inch City sanitary main.
- Projected average daily demand/flow is 3,200 gpd (8 units × 400 gpd City/Ohio EPA single-family rate). This volume is negligible relative to the City's water production (~2.5 MGD) and the Athens WWTP design capacity (4.8 MGD average / 10.6 MGD peak secondary).
- Gravity sanitary flow is feasible; average on-site sewer depth is approximately 48 inches. No private lift stations are required.
- A public fire hydrant exists within 400 feet of the site at Hudson Avenue and Lincoln Avenue; no additional on-site hydrants are required based on current information.

The full Feasibility Study (including demand calculations, constructability notes, and coordination references) is provided as Exhibit A and is incorporated by reference.

5. OTHER INFORMATION DEEMED NECESSARY TO CREATE BUILDABLE SITES AND PROMOTE PUBLIC HEALTH, SAFETY, AND WELFARE

Access and Circulation

Vehicular access will be provided via a 15-foot-wide private drive terminating in a cul-de-sac at the end of Morris Avenue. A four-foot (4 ft) wide shared sidewalk will run parallel to the drive. In addition, a shared pedestrian sidewalk

will be constructed from the terminus of Hudson Avenue to the new cul-de-sac and the soccer field located directly south of the site. This sidewalk connection provides direct pedestrian access to the Hockhocking Adena Bikeway adjacent to the new fire station, enhancing neighborhood connectivity and non-motorized transportation options.

Public Support and Expedited Review

City of Athens leadership, including the Mayor and City Engineering staff, have stated before City Council that this is a City of Athens project and have expressed their intent to expedite review and approvals in order to meet Welcome Home Ohio grant timelines and deliver much-needed affordable homeownership opportunities to the community.

Consistency with Community Goals

The project advances multiple City and regional objectives: creation of permanently affordable owner-occupied housing, attraction of young professionals and families, efficient use of existing infrastructure, and improved pedestrian connectivity to the regional trail system. No commercial or industrial uses are proposed. The development is scaled and designed to integrate with the existing residential fabric of the Near East Neighborhood.

Professional Responsibility

Final engineering plans (grading, stormwater, utilities, and erosion control) will be prepared and sealed by a Professional Engineer licensed in the State of Ohio. All work within public rights-of-way or connecting to City utilities will be coordinated with and inspected by City Engineering & Public Works.

6. CONCLUSION

The proposed Welcome Home Athens development at 93 Hudson Avenue consists of eight (8) permanently affordable, fee-simple, single-family homes on a 1.054-acre site. Public water and sanitary sewer facilities are available and have been demonstrated to be feasible and adequate (see Exhibit A). Appropriate screening, landscaping, stormwater management, and pedestrian connectivity measures are incorporated. The project is consistent with R-3 zoning via a PUD overlay, enjoys the support of City leadership, and will deliver quality homeownership opportunities that strengthen the Athens community.

Respectfully submitted this 14th day of August, 2026.

Community Building Partners
Applicant / Developer

Site Development / Preconstruction
Engineering Support

EXHIBIT A

WATER AND SANITARY SEWER FACILITIES FEASIBILITY STUDY

The complete four-page Feasibility Study dated August 14, 2026, prepared in support of this Preliminary PUD Application, follows this cover sheet and is incorporated herein by reference.

Welcome Home Ohio – Eight (8) Single-Family Homes
93 Hudson Avenue, Athens, Ohio
Parcels A027180001700 & A027180001600
1.054 Acres | Near East Neighborhood

FEASIBILITY STUDY

Water and Sanitary Sewer Facilities

Welcome Home Ohio – Eight (8) Single-Family Homes

93 Hudson Avenue, Athens, Ohio
Parcels A027180001700 & A027180001600
1.054 Acres | Near East Neighborhood

Prepared for: Community Building Partners / City of Athens Preliminary PUD Application
Date: August 14, 2026 | **Prepared by:** Site Development / Preconstruction Engineering Support

1. Purpose and Scope

This Feasibility Study evaluates the adequacy and constructability of public water and sanitary sewer facilities to serve eight (8) owner-occupied, fee-simple, single-family homes on approximately 1.054 acres at the terminus of Hudson Avenue. The study is prepared in support of the Preliminary Planned Unit Development (PUD) application under Athens City Code § 21.09 and addresses the City's requirement for a feasibility evaluation of sewer and water facilities for developments of two or more dwelling units.

The evaluation is based on site observations, on-site meetings with City Engineering staff, published City of Athens demand rates, Ohio EPA flow guidelines, and the specific utility improvements described by City Service and Safety Director Andy Stone and City Engineer Jarod Balderson.

2. Project Description

- Eight single-family, owner-occupied homes (fee-simple lots).
- Each home: 3-bedroom / 2-bath; one unit designed as ADA-compliant ranch.
- Maximum occupancy assumed: 5 persons per home.
- No irrigation systems planned.
- Site is currently vacant / storage (former City impound and American Red Cross storage use).
- Base zoning remains R-3 (multifamily residential). No change to underlying zoning is requested; the PUD functions as a site-specific overlay.
- Ground elevations approximately 635–638 ft. Finished floor elevations will be set above the Base Flood Elevation of 641. Site is relatively flat (less than 2 ft of elevation change across the property).
- Adjacent uses: three triplex condominium buildings and single-family homes.

3. Existing Conditions – Utilities

Water

Existing water service on Hudson Avenue consists of an aging 2-inch galvanized main. City Service and Safety Director Andy Stone has stated that the City will either improve the line or publicly bid a replacement consisting of approximately 8-inch Class 53 ductile-iron pipe with concrete coating, connecting to the existing 4-inch water line at the terminus of Morris Avenue. The site measures approximately 400 feet in length along its primary axis.

Sanitary Sewer

A City sanitary manhole is located approximately 40 feet south of the southern property line. The manhole is 10 feet deep and accesses a 36-inch diameter City sanitary sewer main. On-site meetings with City Engineer Jarod Balderson and staff confirmed the proposed connection point and required the installation of two new on-site manholes for accessibility and clean-out.

Fire Protection

The nearest public fire hydrant is located at the intersection of Hudson Avenue and Lincoln Avenue, within 400 feet of the site.

Stormwater (for reference)

The site currently drains adequately. Two stormwater basins are proposed and will connect to the City storm main at the terminus of Hudson Avenue. Stormwater is noted for completeness but is not the primary subject of this water/sewer feasibility evaluation.

4. Proposed Water System

The City will lead or publicly bid the replacement of the existing 2-inch galvanized main with 8-inch Class 53 ductile-iron pipe (concrete-coated) extending to the site and tying into the 4-inch main at Morris Avenue.

Each of the eight homes will be served by:

- Individual standard residential water meter (City-furnished upon payment of applicable fees)
- Standard residential meter pit
- 1-inch service lateral from the new main to the home

No water service lateral will exceed 60 feet in length. All services will be privately owned and maintained from the meter to the structure. The proposed configuration provides adequate domestic supply and is consistent with City standards for single-family residential development.

5. Proposed Sanitary Sewer System

- Installation of two (2) new sanitary manholes on-site.
- Approximately 450 linear feet of 8-inch SDR-35 PVC sewer main connecting the new manholes and extending to the existing City manhole located ~40 feet south of the southern property line.
- Average sewer depth on-site: 48 inches. Connection into the existing City manhole will occur at approximately 6 feet of depth.
- Each home served by a private 4-inch Schedule 40 PVC (bell-end) service lateral.
- No lateral will exceed 60 feet in length. Service lateral invert depths will be greater than 45 inches.

Gravity flow is feasible given the flat topography and available depth at the receiving City manhole. The layout and connection point have been reviewed and accepted in principle by City Engineering staff during on-site coordination.

6. Projected Water Demand and Sanitary Flow

The City of Athens Facilities Benefit Assessment (based on the Ohio EPA Flow Guide) assigns **400 gallons per day (gpd)** of water and sanitary demand to a single-family home. This rate is used for capacity and fee calculations.

Parameter	Value
Number of dwelling units	8
Demand per single-family home	400 gpd
Average daily demand / flow	3,200 gpd
Maximum occupancy (conservative)	5 persons/home × 8 = 40 persons
Peak factor (typical residential)	2.0 – 4.0
Estimated peak daily flow	6,400 – 12,800 gpd

No irrigation or other non-domestic uses are proposed. The 400 gpd single-family rate is the controlling figure used by the City for capacity analysis and tap/capacity fees.

7. System Capacity Evaluation

Water

The City of Athens public water system produces approximately 2.5 million gallons per day. The addition of 3,200 gpd average demand represents a negligible increase. The planned replacement of the undersized 2-inch galvanized

main with an 8-inch Class 53 ductile-iron main, as directed by City staff, will provide more than adequate capacity and pressure for domestic service and fire flow support.

Sanitary Sewer

The Athens Wastewater Treatment Plant has a design average capacity of 4.8 MGD and peak secondary treatment capacity of 10.6 MGD. The projected 3,200 gpd average flow from this project is insignificant relative to available plant capacity. The receiving 36-inch sewer main and the existing manhole have been identified by City Engineering as appropriate for connection. The addition of two on-site manholes improves long-term maintainability as required by City staff.

Fire Protection

A public hydrant exists within 400 feet of the site. Individual homes will be within acceptable hose-lay distances under typical residential standards. No additional on-site hydrants are required based on current information; final confirmation will occur during detailed plan review.

8. Constructability and Excavation Notes

- Site is essentially flat (<2 ft of relief).
- Average sewer trench depth of 48 inches is well within normal residential construction practices and does not require specialized shoring beyond standard trench boxes.
- Water and sewer laterals ≤60 ft keep excavation volumes modest and minimize disruption.
- Connection to the existing 10-ft-deep City manhole at ~6 ft depth is straightforward.

All work in public right-of-way or requiring connection to City mains will be coordinated with and inspected by City Engineering & Public Works.

9. Conclusions and Recommendations

1. Public water and sanitary sewer facilities are available and can adequately serve the eight proposed single-family homes.
2. The City's planned replacement of the existing 2-inch galvanized water main with an 8-inch Class 53 ductile-iron main resolves the primary existing deficiency and provides a reliable supply.
3. Gravity sanitary sewer service is feasible. The proposed 8-inch SDR-35 main, two new on-site manholes, and connection to the existing City manhole (accessing a 36-inch main) have been reviewed and accepted in concept by City Engineering.
4. Projected average demand of 3,200 gpd is well within the capacity of both the water distribution system and the Athens WWTP.
5. Individual metered water services and private 4-inch sewer laterals are consistent with City single-family standards.
6. No irrigation, no private lift stations, and no extraordinary utility upgrades beyond those already identified by City staff are required.

Recommendation: The proposed water and sanitary sewer facilities are feasible. Detailed construction plans should proceed to final design, City review, and permitting in accordance with Athens Engineering & Public Works standards and Ohio EPA requirements. Capacity/tap fees will be calculated by the City using the official 400 gpd single-family rate.

10. References / Coordination

- On-site review with Jarod Balderson, City Engineer, and Engineering staff.
- Direction from Andy Stone, Service and Safety Director, regarding water main replacement.
- City of Athens Facilities Benefit Assessment (Ohio EPA Flow Guide) – 400 gpd per single-family home.
- Athens WWTP design capacity data (4.8 MGD average / 10.6 MGD peak secondary).
- Project site data provided by Applicant (elevations, layout parameters, lateral lengths, and connection details).

**Office of Code Enforcement and
Community Development**

28 Curran Drive
Athens, OH 45701
(740)592-3306
(740)594-6304 Fax
<http://www.ci.athens.oh.us>



City of Athens
ATHENS, OHIO

To: Athens City Planning Commission Members

From: Tom Pyle, Code Director

RE: Variance Report for PUD Application #26-000001 (Welcome Home Ohio Project)

Date: 27 August 2026

Esteemed Members. The Code Enforcement Office has reviewed the preliminary PUD application for the Welcome Home Ohio Project. This memorandum shall serve as a report on required variances, allowed by ACC 21.02.03, that the commission will need to consider recommending to council for this project. ACC 21.02.03 states “Where...the purpose of these regulations may be served to a greater extent by an alternative proposal, it may recommend to council the approval of variances...provided that they will not be detrimental to the public health, safety, or welfare, or injurious to other properties.”

1. ACC 21.09.05 Minimum Project Area Requirements- *“The gross area of a tract of land in a PUD shall be a minimum of two acres.”*

The available gross area of land for the proposed project is 1.054 acres. If this project were pursued outside of the Planned Unit Development process, the developer would need to seek bulk control variances and road frontage variances (see the following) through the Board of Zoning Appeals (BZA). If those variances were approved, the developer would then need to seek Major Subdivision approval through the Planning Commission and City Council. The Planned Unit Development process serves to streamline the process by seeking both variances and subdivision approval through the Planning Commission and City Council as allowed by law. If a major subdivision process was not required for this project, the normal BZA variance process would have been recommended. Since both processes require variances with oversight and Council approval, we have recommended the PUD process, again, the outcome, if approved, would be the same.

2. ACC 23.10- Bulk Control Variances

Our review of the current application reveals only two bulk control variances will be required for this project.

- A. ACC 23.10 Table A- Schedule of Bulk Controls – Current bulk controls require side setbacks for an R3 zone of 5 foot minimum between property lines. This project proposes side setbacks of anywhere from 2 to 4 ½ feet. The developer indicates fire rated building materials will be utilized to avoid fire spreading from one structure to another in the event of a fire.
- B. ACC 23.10 Table A- Schedule of Bulk Controls- Current bulk controls require rear yard setbacks for an R3 zone of 20 feet. Based on the current application, it appears some properties, but perhaps not all, will require rear setback variances. We will be able to determine precisely which properties require variances prior to final hearing. The developer will need to submit detailed plans with measurements to make that determination. Since all 8 properties will border a city alley, the impact of a variance such as this will be minimal as the alley space to the rear of all proposed structures will provide ample setback from any future buildings.

3. ACC 23.03.10- Buildings on public streets- “Each principal building shall front on a duly accepted public street in accordance with city standards...”

This project, if approved, will be located in what is currently a green space accessible from the north via Hudson Avenue, and from the South via Morris Avenue, though no building in the development will have road frontage on either. From the North, a current city alley would be used from Hudson Street to access the driveways and garages of the northern buildings. From the south, the city intends to improve the current city right of way as an alley to provide access to the four southern properties. For this purpose, the project will require a variance from ACC 23.03.10.

Respectfully submitted for your consideration.