



AGENDA
ATHENS PLANNING COMMISSION
WEDNESDAY, MAY 1, 2024 AT 12:00 PM

Streaming is available at www.ci.athens.oh.us/video

Establish Quorum and Administer Oath

Disposition of Minutes

- April 3, 2024

Cases

- Case #24-03 Changes to Athens City Code
- Case #24-04 Title 41 Review/Southeast Beverage Warehouse Addition

Communications

- Tobacco Zoning and Marijuana Dispensary Zoning

Reports

- Code Enforcement Director
- City Planner

Opportunity for citizens to speak about items not covered on agenda

Announcements & Other Business

- Next meeting: May 15, 2024

Adjournment

The City of Athens supports the Americans with Disabilities Act. Requests for reasonable accommodation may be made with the ADA Coordinator in the City Building or by calling 592-3367.

**Athens City Planning Commission
Minutes of Regular Meeting
Wednesday, April 3, 2024, 12:00 p.m.**

A regular meeting of the Athens City Planning Commission was held in City Council Chambers, third floor of City Hall, on April 3, 2024.

Attendees: John Anderson, Mark Welch, William Blair, Heather Laughlin, Kimberly Good Kelly, Alan Swank, Robert Delach

1. Call to Order

John Kotowski called the regular meeting of the Planning Commission to order at 12:01 p.m. and administered the oath to those in the audience intending to speak before the commission. Quorum was established with all members present.

PLANNING COMMISSION MEMBERS:

Chris Knisely	Present
John Kotowski, Chair	Present
Steve Patterson, Mayor	Present
Austin Phillips, Vice-Chair	Present
Andy Stone, Service-Safety Director	Present

STAFF:

David Riggs, Code Enforcement Director	Present
Meghan Jennings, City Planner	Present

2. Disposition of Minutes

Austin P. moved to approve the March 20, 2024 minutes. Andy S. seconded. Motion passed 4:0 (Chris K. abstained).

3. Cases

Case #24-02 Grand Park Blvd. & Eden Pl. Rezoning Request

David Riggs noted that the appellant's representative is present today to answer questions posed at the last meeting regarding light trespass and fencing.

David Mott/Mollica, Gall, Sloan & Sillery

His clients are in the conceptual phase and there are no developed site plans at this point. The request is for a parking lot for inventory. They are planning to address light trespass by considering using shorter light poles and screening the lights from the residences. They plan to install a fence (minimally an 8' chain link with plastic inserts). They are also considering a landscaped fence. They will comply with the current code about lighting, screening, and fencing requirements, so if a chain link fence is not in compliance, they will choose another type of fencing.

Discussion:

- Andy S. asked about the status of the current special use of the right-of-way permit for the lights that were constructed on the public property. It is not specifically related to this rezoning request but does bear on the situation. David R. replied that The Buckley Group, hired by the city, is in the process of surveying to define where the encroachments are. After this is complete the applicant will be able to move forward with the Title 49 special use of the ROW permit.
- Andy S. asked Mr. Mott that if there were encroachments found and the special use permit denied, would his client be prepared to remove the lights. David Mott has not had that discussion with his client, but his client is aware of the potential outcome.
- Chris K. observed that while Don Wood Hyundai says they are in the conceptual phase, lights have been installed and dirt has been moved so it appears more than conceptual. (David M. replied that the lights are a separate issue and that they were replacing existing lights.) The Planning Commission needs to decide on a recommendation to City Council, but the lights do affect how the space will look. Can the commission make a recommendation considering these pending issues?
- Austin P. asked if the commission could approve the rezoning with conditions. David R. is not sure the commission has ever done that before, but City Council may be able to place conditions on the request.
- John K. asked if a recommendation with conditions goes to City Council could they accept the recommendation without those conditions. David R. replied yes.
- Chris K. asked if City Council could place conditions on the fence and the quality of the fencing. David R. replied yes.
- David Mott reiterated that Don Wood Hyundai will comply with all ACC regulations. Rezoning requests are really about the long-term use. In this case it is more about what should the property be zoned for, commercial use or residential use.
- Andy S. noted that according to ACC, R-1 zones do not allow as much density as we need given the shortage of housing in Athens. Could the use (parking lot) occur in an R-3 zone? David R. replied yes, parking lots are acceptable uses in R-3 and business zones.
- David Mott noted that R-3 is limited to residential use so a developer could put thirty apartments there which would result in increased traffic.
- Steve P. expressed concern that this is a “concept” that can evolve to anything. David Mott said the client needs parking/space for inventory, the final details/looks are conceptual, the use is not conceptual.
- Chris K. asked if this were changed from R-2 to B-2 could it then go from a B back to an R? David R. thought it could, but he does not know of any instances of this.
- Steve P. remembered that this area was rezoned when he was on council, and he recalls that the owner asked to retain these as R-2 for future development. This is why these are the only lots in the area that are R-2.
- Heather Laughlin/8 Grand Park Blvd: Some of the lights are new, not all of them are replacement lights. She asked if it were a B-3 could a McDonald’s be developed there?

Lighting is a huge concern. Fencing just along the back is inadequate. Traffic and safety are concerns.

- Chris K. asked if B-3 allows for a drive through. David R. noted that drive-throughs are allowed in B-3, but they are limited to 200' from residential zones. So, a drive-through at this location would not be allowed without a variance.
- Kimberly Good Kelly/32 Strathmore (owner of the Don Wood Hyundai building): Her family did own the 5 parcels in question, and they never developed them for a variety of reasons. She feels a parking lot is the best use of the space. All the other areas there are business zones butting up to R-1's. Don Wood has a 20-year lease so it will be a dealership for a long time.
- Alan Swank/40 Townsend: If this is passed it will go City Council's Planning and Development Committee of which he is chair. He has reservations about this being recommended to City Council. This is more about the long-term use and what the future will look like. Mr. Swank illustrated his concerns by showing a series of pictures of neighboring areas. Making this an R-3 zone would be an effective way to allow the parking lot for Don Wood Hyundai. He also expressed concerns about the lack of visibility vehicles have trying to get onto E. State Street because the current lot there has parked vehicles obstructing the view.
- Rob Delach/Morris Avenue: Likes the idea of an R-3 designation based on the discussion. It keeps long-term use in mind.
- Heather Laughlin: She would like to see a hedge or fence that is 20-25 ft. from the property line.
- John K. pointed out that there is a side yard setback so that would come into play.
- David R. said that a side yard setback does not pertain to parking lots or fencing 6' or less. A setback or a taller fence would be a zoning change that would go to the BZA after, and if, this request is approved. The parking lot would be required to be paved with asphalt or concrete which impacts run-off and drainage.
- David Mott addressed the above stated concerns: No increase in business traffic is anticipated for this, the lot is to house inventory. They will comply with ACC on runoff/drainage regulations along with all other code regulations. The photos that Alan Swank showed of B-3's are in violation of ACC, so this is an enforcement issue, not a zoning issue. B-3's are all up and down E. State St. and not all of them look like those Mr. Swank illustrated.
- Chris K. asked David R. if he saw any negative long-term impacts in changing this to an R-3, David R. replied no.
- Andy S. commented that the Planning Commission can recommend an R-3 even though the rezoning request was submitted as a B-3.
- The group further discussed zoning, parcel ownership, procedure and process, traffic, lot coverage, etc.

Austin Phillips moved to approve Case #24-02 as stated in the request, rezoning the five parcels to a B-3. No second was offered.

Chris Knisely moved to approve Case #24-02, however, to recommend to Athens City Council rezoning the five parcels to R-3, not B-3. Andy Stone seconded the request. All present voted aye. Motion passed 5:0.

Case #24-03 Changes to Athens City Code
Subdivisions – 21.03.02, 21.03.03, 21.03.07
Minimum Allowable Lot Sizes – Title 21 Table 1 & Title 23 Table A

David Riggs noted that in the last 30 days Code Enforcement and Development has received 18 applications for lot splits in and outside of the city. Making the suggested subdivision changes to ACC as outlined at the last meeting would help the office manage these requests. He reviewed the changes that they are proposing and noted that he and the Planner have contacted both the county and the health department because these changes would affect them.

He and the City Planner would like to request that the changes to subdivisions and the changes to minimum allowable lot sizes be separated into two requests. They would like more time to conduct research concerning minimum allowable lot sizes and to fine tune their language recommendations.

The discussion of Case #24-03 was tabled. The case will be on the agenda at the next meeting so that a vote can be taken for both items contained in the case.

4. **Communications**

Title 41 Review/Southeast Beverage Warehouse Addition

Austin Phillips recused himself from the discussion as he is the owner.

David Riggs/Summary

This is a site plan review for a warehouse addition for Southeast Beverage. The plans were received and reviewed. No staff comments were submitted. He requested the applicant to submit the photometrics and a landscaping plan. These have been received but not shared or reviewed by him yet. The site is not set up to plant the number of trees required, but in the past there has been flexibility afforded to developers on the shade tree requirement, and trees have been banked.

Discussion:

- The property is currently a paved parking lot. The impervious area will not change by much. No existing trees.
- Steve P. thought that the shade tree requirement should be lenient for what is currently a paved treeless area.
- Chris K. asked about the percentage increase in lot coverage and impervious area. David R. said it was all within regulations.
- Mark Welch/Pickering Associates: the area is currently used for trailer storage. Trailer storage will still happen to the south of the building. Will not be adding additional paving.

Percentage of impervious area is located on the drawings, page C-104. 72% impervious area will increase by 2% to 74%.

- Andy S. asked if there would be a jobs component and/or economic development component to this project.

At this point Austin Philips was brought back in to answer additional questions.

- David R. noted that the estimated shade tree requirement is about 120 trees.
- Chris K. said she would like to see the shade tree considerations apply to this even though it is currently paved and an industrial park, there is a benefit to having trees as part of the plan.
- Rob Delach/Morris Avenue: suggested having some trees, not the full requirement, and adding the remaining trees to the tree bank.
- Andy Stone posed his question again about a job's component.
- Austin Philips/Southeast Beverage: Last year they added seven employees, and this is the main reason they need to build an addition, for elbow room. No anticipated increase in jobs. The target completion date is July 4. The addition is about 26,000 sq. ft. and will match the existing building design.
- John Anderson/Mondo Building: They are ready to begin when/if this is approved. A green roof is not part of the plan.

John Kotowski commented that this will come forward as a case at the next meeting.

5. **Reports from Director of Development & Code Enforcement and City Planner**

David Riggs/Code Enforcement Director

- No report. (Meghan J. offered that The Ridges information is being gathered by David R.)

Meghan Jennings/City Planner

- No updates to report

6. **Opportunity for Citizens to Speak**

None

7. **Announcements & Other Business**

- Next meeting April 17, 2024.
- Chris K. suggested that ACC be reviewed for regulations about paved impermeable surfaces, and if anything can be built into code regarding green roofs.
- John K. inquired about the progress of the Chipotle and Starbucks development on E. State Street. Mark Welch reported that the project is moving along well – pilings have been installed, concrete work will be complete by the end of next week. The expected timeline is to finish Chipotle first and then Starbucks.

8. **Adjournment**

The meeting adjourned at 1:19 p.m.

Planning Commission Members,

The county auditor does not review lot splits greater than 5.00 acres. Our city code does not have a 5.00-acre cutoff for review but this is allowed by ORC 711.131. Also, the ORC does not require a major subdivision when access easements are created, although our city code does. This may be overly restrictive.

I suggest changes to ACC 21.03.02 as follows to meet ORC requirements as follows:

21.03.02. - General procedure.

Before any land is subdivided the owner of the property, or their authorized agent, shall apply for and secure approval of the proposed subdivision in accordance with the following procedures:

- (A) Parcel split, minor subdivision, or similar development. **WHERE ALL OF THE PROPOSED LOTS FRONT ON A PUBLIC STREET AND ARE GREATER THAN 5.00 ACRES IN SIZE, THE PROPOSED DIVISION SHALL NOT BE CONSIDERED A SUBDIVISION UNDER THIS SECTION. ~~These~~ ALL OTHER PARCEL SPLITS, MINOR SUBDIVISIONS, OR SIMILAR DEVELOPMENTS LESS THAN 5.00 ACRES** shall be handled by planning commission and may require a plat of survey, a deed with a legal description, and fees. However, approval without a plat may be granted if the proposal meets all of the following conditions as noted in Section 21.03.03 below.
- (B) Platted subdivision, major subdivision, or similar development. These involve approval actions by the planning commission before plat signature by the planning commission chair. The approval process for a major development, whether a subdivision cluster development, or planned unit development (PUD), is essentially the same, and includes three principal steps: an optional sketch plan, a preliminary plan, and a final plat.

Along with:

21.03.07. - Outline of conditions for major subdivision.

A proposal involving any of the following shall be subject to major subdivision procedures:

- (A) More than five lots, any one of which is less than five acres, including the original tract.
- (B) Creation, widening or extension of a street ~~or access easement.~~
- (C) **CREATION OF AN ACCESS EASEMENT FOR TWO OR MORE LOTS.**
- (~~E~~D) Division or allocation of land as a utility or drainage easement.

21.03.03. - Requirements for minor subdivisions and similar developments.

- (A) Submission requirements the application for minor subdivision shall include the following:

(12) PROPOSED ACCESS EASEMENT(S) MUST BE CLEARLY DIMENSIONED WITH FULLY DESCRIBED MAINTENANCE AGREEMENTS BETWEEN GRANTEE AND GRANTOR.

While planning commission is looking at changes to Title 21, staff suggests we also look at revising the minimum allowable lot sizes for development. This revision can help with the city's current housing shortage by allowing more efficient and dense development.

Title 21 Table 1

PLEASE REFER TO TITLE 23 TABLE A – SCHEDULE OF BULK CONTROLS FOR MINIMUM LOT DEVELOPMENT REQUIREMENTS: RESIDENTIAL, IN CITY.

Minimum Lot Development Requirements: Residential, **IN COUNTY**

Type of Development	Public Water (Y/N)	Public Sewer (Y/N)	Curb and Gutter (Y/N)	Min. Lot Area (s.f.)	Min. Lot Width (ft.)	Min. Front Yard (ft.)	Min. Lot Side Yard (ft.)	Min. Lot Rear Yard (ft.)	Max. ¹ Height (ft./ stories)	Max. Lot Cover. (percent)
In County	Y	Y	Y	9,450	70	30	10/20	30	N/A	30
In County	Y	Y	N	20,000	90	30	10/20	30	N/A	30
In County	Y	N	Y	42,560	90	30	10/20	30	N/A	30
In County	Y	N	N	42,560	90	30	10/20	30	N/A	30
In County	N	N	N	42,560	90	30	10/20	30	N/A	30
In County	N	N	Y	42,560	90	30	10/20	30	N/A	30
In County	N	Y	N	20,000	90	30	10/20	30	N/A	30
In County	N	Y	Y	20,000	90	30	10/20	30	N/A	30
City R-1	Y	Y	Y	8,000	66	25	8/20	30	35/2½	30
City R-1	Y	Y	N	20,000	66	25	8/20	30	35/2½	30
City R-2	Y	Y	Y	6,000-OR 3,500/unit	50	25	8/18	30	35/2½	30
City R-2	Y	Y	N	20,000	50	25	8/18	30	35/2½	30
City R-3	Y	Y	Y	6,000-OR 3,500/unit	60	25	8/18	30	45/3½ ²	40
City R-3	Y	Y	N	20,000	60	25	8/18	30	45/3½ ²	40

Title 23 Table A -- Schedule of Bulk Controls

Zone	Min. Lot (sq. ft.)	Min. Lot Area Per Dwelling Unit (sq. ft.)	Min. Lot Width (ft.)	Max. Height (ft./story) ¹	Min. / Max. Front Yard ² (ft.)	Min. Side Yard one/both (ft.)	Min. Rear Yard (ft.)	Max. Lot Structure Lot Coverage (percent)	Total Max. Impervious Lot Coverage (percent)
R-1 ²									
One Family	8,000 4,000	8,000 4,000	66 40	35/2.5	25 10/20	8/20 5	30 20	30 50	60 70
R-2 ²									
One Family	6,000 3,500	6,000 3,500	50 35	35/2.5 Same as R-1	25 Same as R-1	8/20 Same as R-1	30 Same as R-1	30 60	60 80
Two Family	7,000 5,000	7,000 2,500	50	Same as R-1	Same as R-1	Same as R-1	Same as R-1	60	80
R-3 ²									
One Family	Same as R-2 3,000	Same as R-2 3,000	Same as R-2 30	Same as R-2 45/3.5	Same as R-2 Same as R-1	Same as R-2 Same as R-1	Same as R-2 Same as R-1	Same as R-2 60	60 90
Two Family	4,000	2,000	40	45/3.5	Same as R-1	Same as R-1	Same as R-1	60	90
Apartment/ Rooming Houses	10,000 5,000	1,250	60 50	45/3½	25 Same as R-1	8/20 Same as R-1	40 Same as R-1	40 60	60 90
Non- Residential and Mixed Uses	10,000 5,000	1,250	60 50	45/3½	25 Same as R-1	8/20 Same as R-1	40 Same as R-1	40 60	60 90

(2) All newly platted **lands LOTS** must meet minimum dimensional requirements ~~of the subdivision~~ **AS LISTED IN TITLE 23 TABLE A -- SCHEDULE OF BULK CONTROLS. FOR ALL OTHER LOTS, PLEASE REFER TO 23.03.08 - YARD REGULATIONS.**

23.03.08 - Yard regulations.

(C) When a **PRINCIPAL BUILDING IS DESTROYED OR DEMOLISHED BY ANY MEANS, OR IF** a vacant lot is situated between two improved lots, ~~each having a principal building within 25 feet of any side lot line of such unimproved lot, the front yard may be reduced to the greatest depth of the front yard of the two adjoining improved lots~~ **THE REQUIRED FRONT YARD SETBACK SHALL BE NO MORE THAN FIVE (5) FEET IN FRONT OF AND NO MORE THAN FIVE (5) FEET BEHIND THE AVERAGE BUILDING LINE AS ESTABLISHED BY THE NEAREST PRINCIPAL BUILDINGS TO EACH SIDE OF THE SUBJECT PROPERTY, PROVIDED THOSE BUILDINGS ARE LOCATED IN THE SAME BLOCK FRONT AND WITHIN ONE HUNDRED (100) FEET OF THE SUBJECT PROPERTY. IN NO EVENT SHALL THE SETBACK BE LESS THAN TEN (10) FEET, UNLESS THE SPECIFIC ZONE DOES NOT REQUIRE A FRONT YARD SETBACK. IF AVERAGING IS NOT POSSIBLE, THEN THE FRONT YARD SETBACK REQUIRED FOR THE SPECIFIC ZONE SHALL BE USED.**



Addressing Athens Housing: *Bulk Controls*

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Proposed Changes

Revisions to the minimum allowable lot sizes for residential development can help with the City's current housing shortage by allowing more dense development and efficient use of existing infrastructure.

Proposed changes:

- Title 21.04 -- Table 1
- Title 23 -- Table A
- Title 23.03.08 – Yard Regulations

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Title 21.04 Table 1

Minimum Lot Development Requirements:
Residential

Type of Development	Public Water (Y/N)	Public Sewer (Y/N)	Curb and Gutter (Y/N)	Min. Lot Area (s.f.)	Min. Lot Width (ft.)	Min. Front Yard (ft.)	Min. Lot Side Yard (ft.)
In County	Y	Y	Y	9,450	70	30	10/20
In County	Y	Y	N	20,000	90	30	10/20
In County	Y	N	Y	42,560	90	30	10/20
In County	Y	N	N	42,560	90	30	10/20
In County	N	N	N	42,560	90	30	10/20
In County	N	N	Y	42,560	90	30	10/20
In County	N	Y	N	20,000	90	30	10/20
In County	N	Y	Y	20,000	90	30	10/20

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Proposed Changes

- Lot development requirements for lots within the City are referenced in two places:
 - Title 21.04 Table 1
 - Title 23 Table A
- Remove City lot development requirements from Title 21.04 Table 1, *Residential* and refer to Title 23 Table A, *Bulk Controls*
- Proposed language for Title 21.04 is:
Please refer to Title 23 Table A – Schedule of Bulk Controls for Minimum Lot Development Requirements: Residential, In City
- Relabel Title 21.04 Table 1 as:
 - Minimum Lot Development Requirements: Residential, In County

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Schedule of Bulk Controls

Zone	Min. Lot (sq. ft.)	Min. Lot Area Per Dwelling Unit (sq. ft.)	Min. Lot Width (ft.)	Max. Height (ft./story) ¹	Min. / Max. Front Yard ² (ft.)	Min. / Max. Side Yard (ft.)
R-1 ²						
One Family	6,000 4,000	6,000 4,000	66 40	35/2.5	25 10/20	8/20 5
R-2 ²						
One Family	6,000 3,500	6,000 3,500	50-35	35/2.5 Same as R-1	25 Same as R-1	8/20 Same as R-1
Two Family	7,000 5,000	7,000 2,500	50	Same as R-1	Same as R-1	Same as R-1

- Assess lot development requirements to planning best practices and compare to existing residential product within Athens
- Gentle increases in density
- Reviewed R-1, R-2, and R-3 zones:
 - Lot size (total and per DU)
 - Lot width
 - Front yard setbacks
 - Side yard setbacks
 - Rear yard setbacks
 - Structure height
 - Structure lot coverage
 - Impervious lot coverage

Research – Local Examples



Elmwood Place

- 7,500 sqft lot
- 50-foot lot width
- 20-foot front yard setback
- 7-foot side yard setback

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Research – Local Examples



Morris Avenue

- 6,500 sqft lot
- 50-foot lot width
- 10-foot front yard setback
- 8-foot side yard setback

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Research – Local Examples



S. May Avenue

- 5,000 sqft lot
- 40-foot lot width
- 10-foot front yard setback
- 5-foot side yard setback

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Research – Local Examples



2nd Street

- 5,000 sqft lot
- 45-foot lot width
- 15-foot front yard setback
- 8-foot side yard setback

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Research – Local Examples



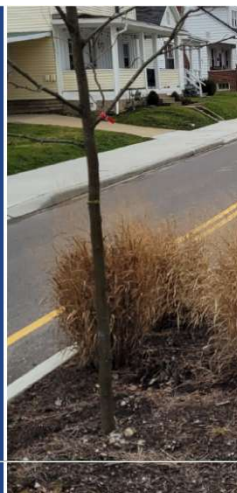
Avon Place

- 6,000 sqft lot
- 55-foot lot width
- 25-foot front yard setback
- 10-foot side yard setback

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Research – Best Practices

STIMSON
AVENUE
CORRIDOR
PLAN
(DRAFT)
ATHENS, OHIO



- American Structurepoint, consultant for the Stimson Avenue Corridor Plan, proposed bulk requirement standards that are applicable across the community
- Example: Single-Family

Bulk Requirement	Recommended Standard (Per Unit)
Lot Size	4,000 Square Feet
Lot Width	40-Feet
Front and Corner Yard Setback	5-Foot Minimum And 10-Foot Maximum
Side Yard Setback (between Buildings)	10-Feet Between Homes
Rear Yard Setback	20-Foot Minimum For Primary Structures, 5-Foot Minimum For Detached Garages
Building Height	The Maximum Building Height Should Be 35 Feet

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Research – Best Practices

STIMSON
AVENUE
CORRIDOR
PLAN
(DRAFT)
ATHENS, OHIO

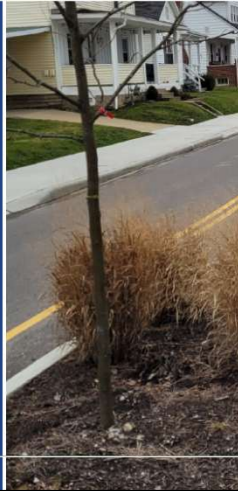
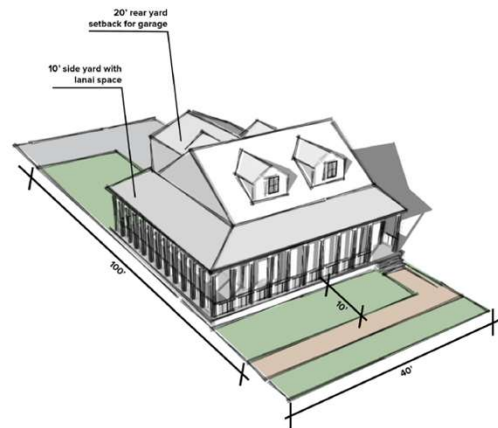


FIGURE 32: SINGLE-FAMILY ZONE ILLUSTRATION



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Research – Best Practices

STIMSON
AVENUE
CORRIDOR
PLAN
(DRAFT)
ATHENS, OHIO

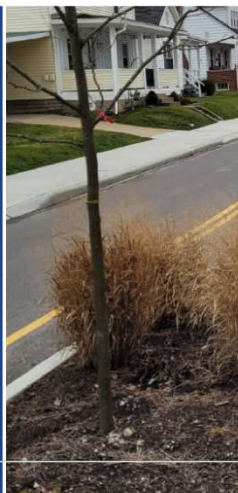
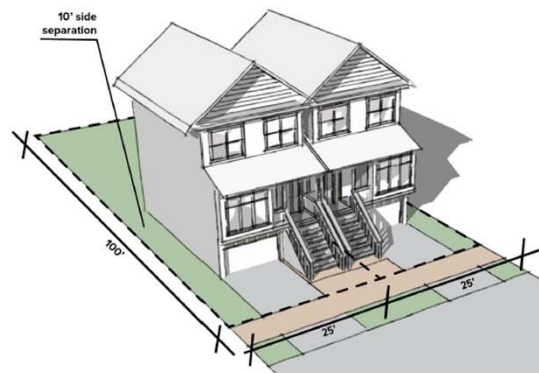


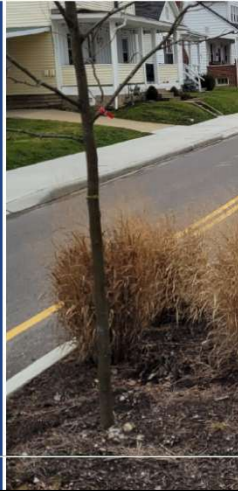
FIGURE 33: TWO-UNIT ATTACHED SINGLE-FAMILY ILLUSTRATION



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Research – Best Practices

STIMSON
AVENUE
CORRIDOR
PLAN
(DRAFT)
ATHENS, OHIO



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Best Practices – Examples



Habersham - Beaufort County, SC

- 5,000 sqft lot
- 40-foot lot width
- 0/5-foot front yard setback
- 5-foot side yard setback

New urbanist development, 1996

Developer: Robert Turner

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Best Practices – Examples

Habersham – Beaufort County, SC



1,800 sqft - 3 bed, 3 bath



1,300 sqft - 2 bed, 2 bath

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Best Practices – Examples



Townley Park – Lexington, KY

- 3,500 sqft lot
- 35-foot lot width
- 5/10-foot front yard setback
- 3-foot side yard setback

Mixed-residential community, 2006

Developer: Dennis Anderson

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Best Practices – Examples

Townley Park – Lexington, KY



1,800 sqft - 4 bed, 3 bath



1,200 sqft - 3 bed, 2 bath

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R-1 Zone – One-Family

Zone	Min. Lot (sq. ft.)	Min. Lot Area Per Dwelling Unit (sq. ft.)	Min. Lot Width (ft.)	Max. Height (ft./story) ¹	Min. / Max. Front Yard ² (ft.)	Min. Side Yard one/both (ft.)	Min. Rear Yard (ft.)	Max. Lot StructureLot Coverage (percent)	Total Max. Impervious Lot Coverage (percent)
R-1 ²									
One Family	8,000 4,000	8,000 4,000	66 40	35/2.5	25 10/20	8/20 5	30 20	30 50	60 70

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R-2 Zone – Two-Family

Zone	Min. Lot (sq. ft.)	Min. Lot Area Per Dwelling Unit (sq. ft.)	Min. Lot Width (ft.)	Max. Height (ft./story) ¹	Min. / Max. Front Yard ² (ft.)	Min. Side Yard ^{one/both} (ft.)	Min. Rear Yard (ft.)	Max. <u>Structure</u> Lot Coverage (percent)	<u>Total Max. Impervious</u> Lot Coverage (percent)
R-2 ²									
One Family	6,000 3,500	6,000 3,500	50-35	35/2.5 Same as R-1	25 Same as R-1	8/20 Same as R-1	30 Same as R-1	30 60	60 80
Two Family	7,000 5,000	7,000 2,500	50	Same as R-1	Same as R-1	Same as R-1	Same as R-1	60	80

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R-3 Zone – Multi-Family

Zone	Min. Lot (sq. ft.)	Min. Lot Area Per Dwelling Unit (sq. ft.)	Min. Lot Width (ft.)	Max. Height (ft./story) ¹	Min. / Max. Front Yard ² (ft.)	Min. Side Yard ^{one/both} (ft.)	Min. Rear Yard (ft.)	Max. <u>Structure</u> Lot Coverage (percent)	<u>Total Max. Impervious</u> Lot Coverage (percent)
R-3 ²									
One Family	Same as R-2 3,000	Same as R-2 3,000	Same as R-2 30	Same as R-2 45/3.5	Same as R-2 Same as R-1	Same as R-2 Same as R-1	Same as R-2 Same as R-1	Same as R-2 60	60 90
Two Family	4,000	2,000	40	45/3.5	Same as R-1	Same as R-1	Same as R-1	60	90

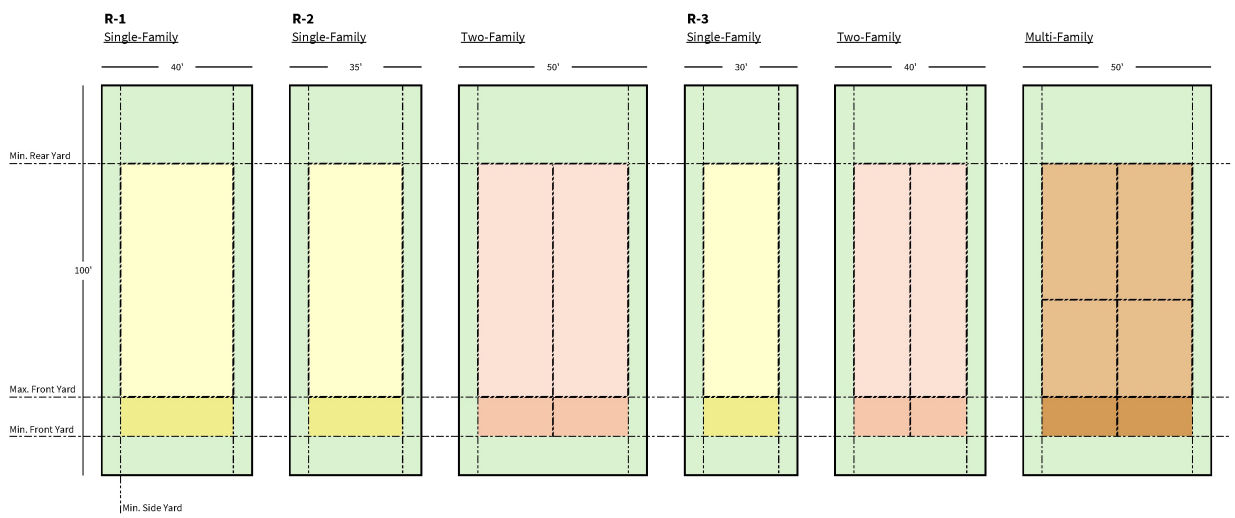
22

R-3 Zone – Multi-Family

Zone	Min. Lot (sq. ft.)	Min. Lot Area Per Dwelling Unit (sq. ft.)	Min. Lot Width (ft.)	Max. Height (ft./story) ¹	Min. / Max. Front Yard ² (ft.)	Min. Side Yard one/both (ft.)	Min. Rear Yard (ft.)	Max. Lot Structure Lot Coverage (percent)	Total Max. Impervious Lot Coverage (percent)
R-3 ²									
Apartment/ Rooming Houses	10,000 5,000	1,250	60 50	45/3½	25 Same as R-1	0/20 Same as R-1	40 Same as R-1	40 60	60 90
Non-Residential and Mixed Uses	10,000 5,000	1,250	60 50	45/3½	25 Same as R-1	0/20 Same as R-1	40 Same as R-1	40 60	60 90

23

Lot Comparisons



24

Title 23.03.08

Yard Regulations

- Section addresses averaging front yard setbacks for infill lots. Proposed changes add flexibility.
- Proposed language:
 (C) When a principal building is destroyed or demolished by any means, or if a vacant lot is situated between two improved lots, the required front yard setback shall be no more than five (5) feet in front of and no more than five (5) feet behind the average building line as established by the nearest principal buildings to each side of the subject property, provided those buildings are located in the same block front and within one hundred (100) feet of the subject property. In no event shall the setback be less than ten (10) feet, unless the specific zone does not require a front yard setback. If averaging is not possible, then the front yard setback required for the specific zone shall be used.

25

Thank You

Meghan Jennings

City Planner

Athens, Ohio

mjennings@ci.athens.oh.us

(740) 592-3338

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Supporting Calculations

Zone / Use	Lot Size	Lot Size/DU	Lot Coverage	Open Space	Remaining
R-1					
One-Family	4,000	4,000	2,400	1,200	800
R-2					
One-Family	3,500	3,500	2,100	700	700
Two-Family	5,000	2,500	3,000 (1,500)	1,000 (500)	1,000 (500)
R-3					
One-Family	3,000	3,000	1,800	300	900
Two-Family	4,000	2,000 (2 DU)	2,400 (1,200)	400 (200)	1,200 (600)
Apartments	5,000	1,250 (4 DU)	3,000 (750)	500 (125)	1,500 (375)
NR / Mixed-Use	5,000	1,250	3,000	500	1,500

Title 23 Table A – Schedule of Bulk Controls
Supporting Calculations for Proposed Changes

R-1

One Family

- Lot size = 4,000 sqft
- Lot size/DU = 4,000 sqft
- Lot coverage = 2,400 sqft
- Open space = 1,200 sqft
- Remaining = 800 sqft

R-2

One Family

- Lot size = 3,500 sqft
- Lot size/DU = 3,500 sqft
- Lot coverage = 2,100 sqft
- Open space = 700 sqft
- Remaining = 700 sqft

Two Family

- Lot size = 5,000 sqft
- Lot size/DU = 2,500 sqft
- Lot coverage = 3,000 sqft (1,500/DU)
- Open space = 1,000 sqft (500/DU)
- Remaining = 1,000 sqft (500/DU)

R-3

One Family

- Lot size = 3,000 sqft
- Lot size/DU = 3,000 sqft
- Lot coverage = 1,800 sqft
- Open space = 300 sqft
- Remaining = 900 sqft

Two Family

- Lot size = 4,000 sqft
- Lot size/DU = 2,000 sqft
- Lot coverage = 2,400 sqft (1,200/DU)
- Open space = 400 sqft (200/DU)
- Remaining = 1,200 sqft (600/DU)

Apartment/Rooming House

- Lot size = 5,000 sqft
- Lot size/DU = 1,250 sqft (4 DU)
- Lot coverage = 3,000 sqft (750/DU)
- Open space = 500 sqft (125/DU)
- Remaining = 1,500 sqft (375/DU)

Non-Residential & Mixed-Use

- Lot size = 5,000 sqft
- Lot size/DU = 1,250 sqft
- Lot coverage = 3,000 sqft
- Open space = 500 sqft
- Remaining = 1,500 sqft

Please note the following items:

- Lot coverage assumes single-story construction
- Open space calculations assumes site is developed to maximum impervious coverage
- Open space examples: 500 sqft = 25x20, 300 sqft = 30x10, and 125 sqft = 10x12
- Remaining = misc. impervious surface (parking, driveways, garages, sheds, front walks, etc)

Planning Commission Members,

The county auditor does not review lot splits greater than 5.00 acres. Our city code does not have a 5.00-acre cutoff for review but this is allowed by ORC 711.131. Also, the ORC does not require a major subdivision when access easements are created, although our city code does. This may be overly restrictive.

I suggest changes to ACC 21.03.02 as follows to meet ORC requirements as follows:

21.03.02. - General procedure.

Before any land is subdivided the owner of the property, or their authorized agent, shall apply for and secure approval of the proposed subdivision in accordance with the following procedures:

- (A) Parcel split, minor subdivision, or similar development. **WHERE ALL OF THE PROPOSED LOTS FRONT ON A PUBLIC STREET AND ARE GREATER THAN 5.00 ACRES IN SIZE, THE PROPOSED DIVISION SHALL NOT BE CONSIDERED A SUBDIVISION UNDER THIS SECTION. ~~These~~ ALL OTHER PARCEL SPLITS, MINOR SUBDIVISIONS, OR SIMILAR DEVELOPMENTS LESS THAN 5.00 ACRES** shall be handled by planning commission and may require a plat of survey, a deed with a legal description, and fees. However, approval without a plat may be granted if the proposal meets all of the following conditions as noted in Section 21.03.03 below.
- (B) Platted subdivision, major subdivision, or similar development. These involve approval actions by the planning commission before plat signature by the planning commission chair. The approval process for a major development, whether a subdivision cluster development, or planned unit development (PUD), is essentially the same, and includes three principal steps: an optional sketch plan, a preliminary plan, and a final plat.

Along with:

21.03.03. - Requirements for minor subdivisions and similar developments.

- (A) Submission requirements the application for minor subdivision shall include the following:

(12) PROPOSED ACCESS EASEMENT(S) MUST BE CLEARLY DIMENSIONED WITH FULLY DESCRIBED MAINTENANCE AGREEMENTS BETWEEN GRANTEE AND GRANTOR.

21.03.07. - Outline of conditions for major subdivision.

A proposal involving any of the following shall be subject to major subdivision procedures:

- (A) More than five lots, any one of which is less than five acres, including the original tract.
- (B) Creation, widening or extension of a street ~~or access easement~~.
- (C) **CREATION OF AN ACCESS EASEMENT FOR TWO OR MORE LOTS.**
- ~~(D)~~ Division or allocation of land as a utility or drainage easement.

While the Planning Commission is looking at changes to Title 21, staff suggests we also look at revising the minimum allowable lot sizes for development. This revision can help with the city's current housing shortage by allowing more efficient and dense development, as well as increasing economic development opportunities.

Title 21.04 - Design and Construction Standards

Table 1

Minimum Lot Development Requirements: Residential, **IN COUNTY***

Type of Development	Public Water (Y/N)	Public Sewer (Y/N)	Curb and Gutter (Y/N)	Min. Lot Area (s.f.)	Min. Lot Width(ft.)	Min. FrontYard (ft.)	Min. Lot Side Yard (ft.)	Min. Lot Rear Yard (ft.)	Max. ¹ Height (ft./stories)	Max. Lot Cover. (percent)
In County	Y	Y	Y	9,450	70	30	10/20	30	N/A	30
In County	Y	Y	N	20,000	90	30	10/20	30	N/A	30
In County	Y	N	Y	42,560	90	30	10/20	30	N/A	30
In County	Y	N	N	42,560	90	30	10/20	30	N/A	30
In County	N	N	N	42,560	90	30	10/20	30	N/A	30
In County	N	N	Y	42,560	90	30	10/20	30	N/A	30
In County	N	Y	N	20,000	90	30	10/20	30	N/A	30
In County	N	Y	Y	20,000	90	30	10/20	30	N/A	30
City-R-1	Y	Y	Y	8,000	66	25	8/20	30	35/2½	30
City-R-1	Y	Y	N	20,000	66	25	8/20	30	35/2½	30
City-R-2	Y	Y	Y	6,000-OR 3,500/unit	50	25	8/18	30	35/2½	30
City-R-2	Y	Y	N	20,000	50	25	8/18	30	35/2½	30
City-R-3	Y	Y	Y	6,000-OR 3,500/ unit	60	25	8/18	30	45/3½ ⁻²	40
City-R-3	Y	Y	N	20,000	60	25	8/18	30	45/3½ ⁻²	40

*** PLEASE REFER TO TITLE 23 TABLE A – SCHEDULE OF BULK CONTROLS FOR MINIMUM LOT DEVELOPMENT REQUIREMENTS: RESIDENTIAL, IN CITY.**

Title 23 Table A -- Schedule of Bulk Controls

Zone	Min. Lot (sq. ft.)	Min. Lot Area Per Dwelling Unit (sq. ft.)	Min. Lot Width (ft.)	Max. Height (ft./story) ¹	Min. / MAX. Front Yard ² (ft.)	MIN. Side Yard one/both (ft.)	Min. Rear Yard (ft.)	Max. STRUCTURE Lot Coverage (percent)	Total MAX. IMPERVIOUS Lot Coverage (percent)
R-1 ²									
One Family	8,000 4,000	8,000 4,000	66 40	35/2.5	25 10/20	8/20 5	30 20	30 50	60 70
R-2 ²									
One Family	6,000 3,500	6,000 3,500	50 35	35/2.5 SAME AS R-1	25 SAME AS R-1	8/20 SAME AS R-1	30 SAME AS R-1	30 60	60 80
Two Family	7,000 5,000	7,000 2,500	50	SAME AS R-1	SAME AS R-1	SAME AS R-1	SAME AS R-1	60	80
R-3 ²									
One Family	Same as R-2 3,000	Same as R-2 3,000	Same as R-2 30	Same as R-2 45/3.5	Same as R-2 SAME AS R-1	Same as R-2 SAME AS R-1	Same as R-2 SAME AS R-1	Same as R-2 60	60 90
Two Family	4,000	2,000	40	45/3.5	SAME AS R-1	SAME AS R-1	SAME AS R-1	60	90
Apartment/ Rooming Houses	10,000 5,000	1,250	60 50	45/3.5	25 SAME AS R-1	8/20 SAME AS R-1	40 SAME AS R-1	40 60	60 90
Non-Residential and Mixed Uses	10,000 5,000	1,250	60 50	45/3.5	25 SAME AS R-1	8/20 SAME AS R-1	40 SAME AS R-1	40 60	60 90
B-1 ² Non-Residential	None 5,000	—	None 50	35/2.5 40/3	25 SAME AS R-1	None ³ 5	10 ⁴	None	None
B-2 ² Non-Residential Downtown	None	—	None	50/4	None	None	None	None	None
B-2D	NONE	—	NONE	70/6	NONE	NONE	NONE	NONE	NONE

Zone	Min. Lot (sq. ft.)	Min. Lot Area Per Dwelling Unit (sq. ft.)	Min. Lot Width (ft.)	Max. Height (ft./story) ¹	Min. / MAX. Front Yard ² (ft.)	MIN. Side Yard one/both (ft.)	Min. Rear Yard (ft.)	Max. STRUCTURE Lot Coverage (percent)	Total MAX. IMPERVIOUS Lot Coverage (percent)
B-3 ² General Business*	None	—	30 NONE	45/3½ 60/5	NONE	NONE	*40 ⁴ NONE	None	None
M-1 ² Industrial	None	—	None	25/1½ 35/2½ 45/3½ 70/6	25 25 25 NONE	None ⁵ None ⁵ None ⁵	30 40 50 ⁶ NONE	= NONE	= NONE

(1) Whichever is less.

(2) All newly platted **lands LOTS** must meet minimum dimensional requirements ~~of the subdivision~~ **AS LISTED IN TITLE 23 TABLE A -- SCHEDULE OF BULK CONTROLS. FOR ALL OTHER LOTS, PLEASE REFER TO 23.03.08 - YARD REGULATIONS.**

(3) Except when adjoining and R-Zone, then not less than ~~THAT~~ of the building height but not less than 15 feet.

(4) Except when adjoining and R-Zone, then not less than required in that R-Zone.

(5) Except when adjoining and R-Zone, then not less than 25 feet.

(6) An additional foot for each foot of building height over 45 feet.

*Except when abutting R-Zone

23.03.08 - Yard regulations.

(C) When a **PRINCIPAL BUILDING IS DESTROYED OR DEMOLISHED BY ANY MEANS, OR IF** a vacant lot is situated between two improved lots, ~~each having a principal building within 25 feet of any side lot line of such unimproved lot, the front yard may be reduced to the greatest depth of the front yard of the two adjoining improved lots~~ **THE REQUIRED FRONT YARD SETBACK SHALL BE NO MORE THAN FIVE (5) FEET IN FRONT OF AND NO MORE THAN FIVE (5) FEET BEHIND THE AVERAGE BUILDING LINE AS ESTABLISHED BY THE NEAREST PRINCIPAL BUILDINGS TO EACH SIDE OF THE SUBJECT PROPERTY, PROVIDED THOSE BUILDINGS ARE LOCATED IN THE SAME BLOCK FRONT AND WITHIN ONE HUNDRED (100) FEET OF THE SUBJECT PROPERTY. IN NO EVENT SHALL THE SETBACK BE LESS THAN TEN (10) FEET, UNLESS THE SPECIFIC ZONE DOES NOT REQUIRE A FRONT YARD SETBACK. IF AVERAGING IS NOT POSSIBLE, THEN THE FRONT YARD SETBACK REQUIRED FOR THE SPECIFIC ZONE SHALL BE USED.**

21.10.08 - Minimum hillside requirements.

The following regulations shall govern the front yard, side yard, street right-of-way, and pavement requirements in hillside subdivisions:

~~Table 10: Minimum Hillside Requirements~~

Group	Slope	Front Yard Setback	Side Yard % of Lot Width	Right-of-Way	Pavement
1	15-25%	25'	10%	50'	24'
2	26-30%	23'	10%	45'	22'
3	31%-over	20'	10%	45'	20'

MARK MONDO BUILDING & EXCAVATING

771 W UNION ST., ATHENS, OH 45701

BEVERAGE WAREHOUSE ADDITION



CIVIL
REGISTERED PE:



03/19/2024
DATE



11283 Emerson Avenue Phone: (304) 464-5305
Parkersburg, West Virginia 26104 Fax: (304) 464-4428

ISSUED FOR PERMIT
03/19/2024

UTILITIES:

UTILITY LOCATIONS SHOWN ARE A COMPILATION OF FIELD VERIFICATION, & UTILITY COMPANY LOCATION REVIEW. SPECIFIC CONSTRUCTION AREAS WITH UTILITY COMPANIES BEFORE CONSTRUCTION. UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THIS DRAWING AND LOCATIONS SHOWN MAY VARY GREATLY FROM ACTUAL LOCATION.

UTILITY CONFIRMATION #A402602286 REV: 00A

COORDINATES:

ELEVATIONS BASED UPON OPUS SOLUTION NAVD 1988
COORDINATES BASED UPON OPUS SOLUTION NAD83 OR STATE PLANE COORDINATES SOUTH ZONE

PHOTOGRAMMETRY:

BACKGROUND PHOTO OBTAINED OHIO GEOGRAPHICALLY REFERENCED INFORMATION PROGRAM (OGRIP) DATA COLLECTED IN MARCH AND MAY OF 2007 OR 2014. PICKERING ASSOCIATED MAKES NO CLAIM AS TO THE ACCURACY OF THE DATA SHOWN. IMAGE TO BE USED ONLY FOR GENERAL ORIENTATION TO THE SUBJECT PROPERTY.

LIMITATIONS OF SURVEY:

THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE OPINION AND THEREFORE IS SUBJECT TO ANY STATEMENT OF FACTS REVEALED BY EXAMINATION OF SUCH DOCUMENTS AND IS SUBJECT TO ALL LEGAL RIGHTS OF WAY, EASEMENTS, AND RESTRICTIONS OF RECORD.

NO OPINION IS MADE OR EXPRESSED CONCERNING THE EXISTENCE OF WETLANDS, FLOOD HAZARDS, ENVIRONMENTAL CONDITIONS, HAZARDOUS MATERIALS, UTILITIES, OR ITEMS THAT MAY EFFECT THE USE OF PROPERTY SURVEYED.

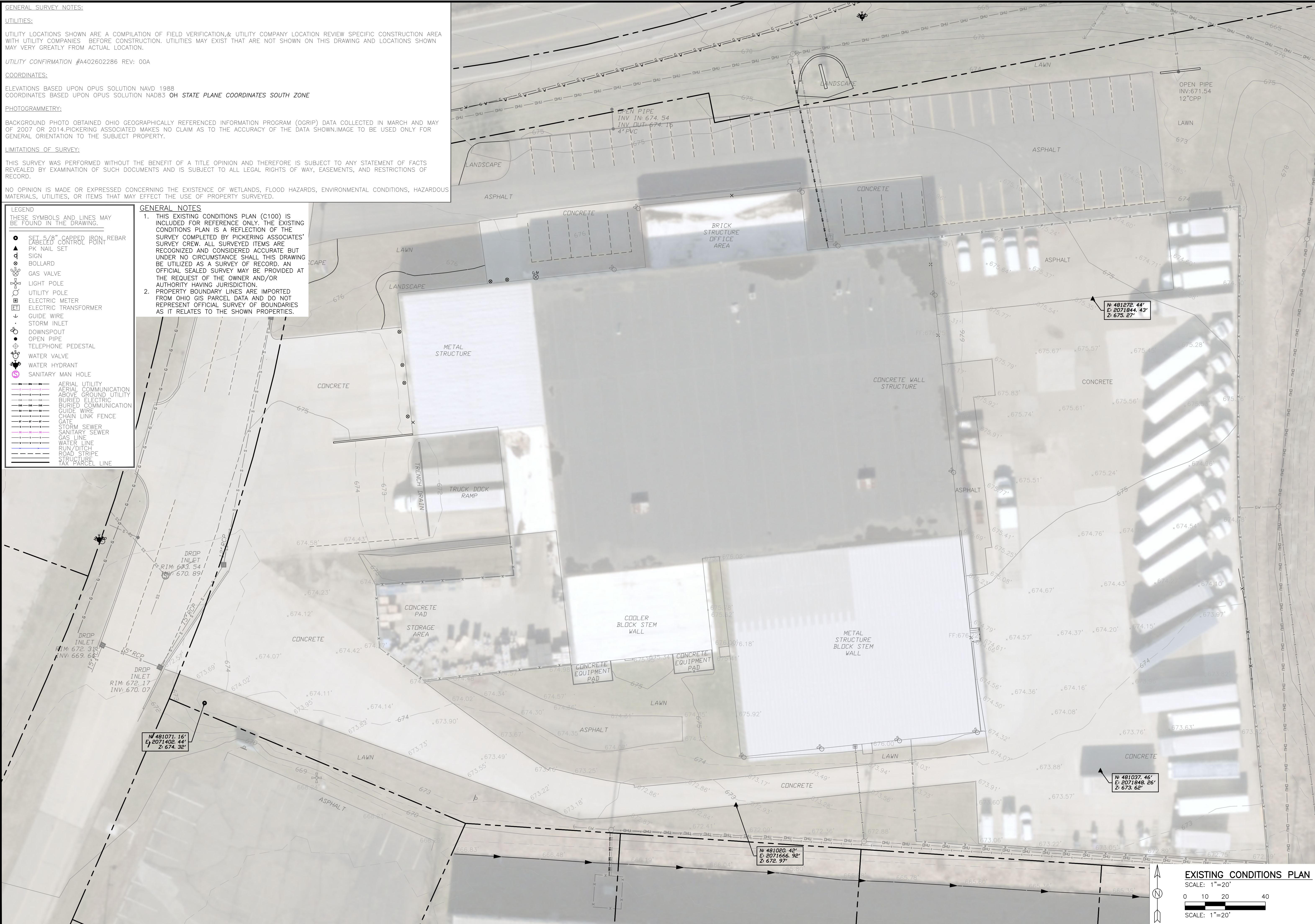
LEGEND

THESE SYMBOLS AND LINES MAY
BE FOUND IN THE DRAWING.

- | | |
|---|----------------------------|
|  | SET 5/8" CAPPED IRON REBAR |
|  | LABELLED CONTROL POINT |
|  | PK NAIL SET |
|  | SIGN |
|  | BOLLARD |
|  | GAS VALVE |
|  | LIGHT POLE |
|  | UTILITY POLE |
|  | ELECTRIC METER |
|  | ELECTRIC TRANSFORMER |
|  | GUIDE WIRE |
|  | STORM INLET |
|  | DOWNSPOUT |
|  | OPEN PIPE |
|  | TELEPHONE PEDESTAL |
|  | WATER VALVE |
|  | WATER HYDRANT |
|  | SANITARY MAN HOLE |
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GENERAL NOTES

1. THIS EXISTING CONDITIONS PLAN (C100) IS INCLUDED FOR REFERENCE ONLY. THE EXISTING CONDITIONS PLAN IS A REFLECTION OF THE SURVEY COMPLETED BY PICKERING ASSOCIATES' SURVEY CREW. ALL SURVEYED ITEMS ARE RECOGNIZED AND CONSIDERED ACCURATE BUT UNDER NO CIRCUMSTANCE SHALL THIS DRAWING BE UTILIZED AS A SURVEY OF RECORD. AN OFFICIAL SEALED SURVEY MAY BE PROVIDED AT THE REQUEST OF THE OWNER AND/OR PARTY HAVING AN INTEREST IN THE PROPERTY.
2. PROPERTY BOUNDARY LINES ARE IMPORTED FROM OHIO GIS PARCEL DATA AND DO NOT REPRESENT OFFICIAL SURVEY OF BOUNDARIES AS IT RELATES TO THE SHOWN PROPERTIES.



Architects • Engineers • Surveyors
1283 Emerson Avenue
Parkersburg, West Virginia 26104
Phone: (304) 464-5305
Fax: (304) 464-4428

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Drawing Description
MARK MONDO BUILDING & EXCAVATING 771 W UNION ST., ATHENS, OH 45701
BEVERAGE WAREHOUSE ADDITION EXISTING CONDITIONS PLAN



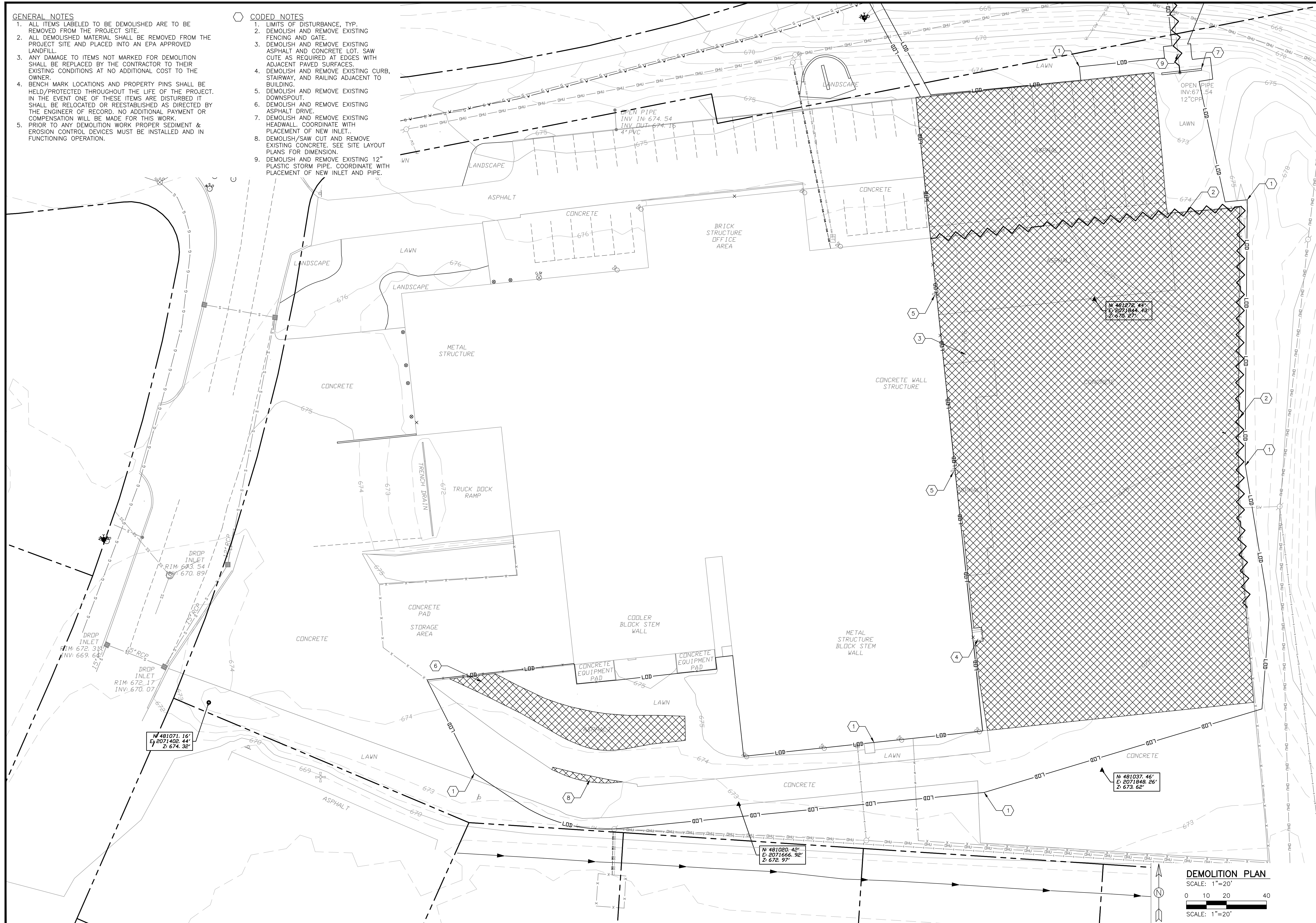
Project: 2232057
Designed By: RJD
Drawn By: RJD
Checked By: SLK
Scale: 1" = 20'
Plot Date: 3/19/24
Revision: 0
Drawing Number:

GENERAL NOTES

- ### GENERAL NOTES
1. ALL ITEMS LABELED TO BE DEMOLISHED ARE TO BE REMOVED FROM THE PROJECT SITE.
 2. ALL DEMOLISHED MATERIAL SHALL BE REMOVED FROM THE PROJECT SITE AND PLACED INTO AN EPA APPROVED LANDFILL.
 3. ANY DAMAGE TO ITEMS NOT MARKED FOR DEMOLITION SHALL BE REPLACED BY THE CONTRACTOR TO THEIR EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
 4. BEFORE MARK LOCATIONS AND PROPERTY PINS SHALL BE HELD/PROTECTED THROUGHOUT THE LIFE OF THE PROJECT. IN THE EVENT ONE OF THESE ITEMS ARE DISTURBED IT SHALL BE RELOCATED OR REESTABLISHED AS DIRECTED BY THE ENGINEER OF RECORD. NO ADDITIONAL PAYMENT OR COMPENSATION WILL BE MADE FOR THIS WORK.
 5. PRIOR TO ANY DEMOLITION WORK PROPER SEDIMENT & EROSION CONTROL DEVICES MUST BE INSTALLED AND IN FUNCTIONING OPERATION.

 CODED NOTES

- ## CODED NOTES
1. LIMITS OF DISTURBANCE, TYP.
 2. DEMOLISH AND REMOVE EXISTING FENCING AND GATE.
 3. DEMOLISH AND REMOVE EXISTING ASPHALT AND CONCRETE LOT, SAW CUT AS REQUIRED AT EDGES WITH ADJACENT PAVED SURFACES.
 4. DEMOLISH AND REMOVE EXISTING CURB, STAIRWAY, AND RAILING ADJACENT TO BUILDING.
 5. DEMOLISH AND REMOVE EXISTING DOWNSPOUT.
 6. DEMOLISH AND REMOVE EXISTING ASPHALT DRIVE.
 7. DEMOLISH AND REMOVE EXISTING HEADWALL, COORDINATE WITH PLACEMENT OF NEW INLET.
 8. DEMOLISH/SAW CUT AND REMOVE EXISTING CONCRETE. SEE SITE LAYOUT PLANS FOR DIMENSION.
 9. DEMOLISH AND REMOVE EXISTING 12" PLASTIC STORM PIPE. COORDINATE WITH PLACEMENT OF NEW INLET AND PIPE.



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Drawing Description
MARK MONDO BUILDING & EXCAVATING 771 W UNION ST., ATHENS, OH 45701 BEVERAGE WAREHOUSE ADDITION DEMOLITION PLAN



Project: 2232057

Designed By: RJD

Drawn By: RJD

Checked By: SLR

Scale: 1" = 20'

Plot Date: 3/19/24

Revision: 0

Drawing Number:

CD101

GENERAL NOTES:

1. THE SITE CONTRACTOR SHALL ENSURE THAT ALL SIDEWALKS ARE SLOPED/GRADED PER ADA REQUIREMENTS, AND ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND FIELD CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ENGINEER OF RECORD'S ATTENTION FOR REVIEW/EVALUATION.
2. REFER TO DRAWING C000 FOR GENERAL NOTES
3. REFER TO DRAWING C102 FOR DIMENSIONS AND GEOMETRIC LAYOUT POINTS
4. REFER TO DRAWING C500 FOR ADDITIONAL SITE SECTIONS AND DETAILS.
5. THE FINAL CONSTRUCTION DRAWINGS SHALL BE REVIEWED AND APPROVED BY THE CITY OF ATHENS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

1. REQUIRED: WHOLESALE ESTABLISHMENT: 1 PER 3000 GFA
- 1.1. WAREHOUSE ADDITIONS: 24,923 SF (8 SPACES)
2. PROVIDED
- 2.1. WAREHOUSE ADDITIONS: 38 PARKING SPACES (2 ADA)
3. MEANS OF INGRESS/EGRESS
- 3.1. EXISTING ENTRANCE/EXIT TO KENNY DRIVE
4. STRUCTURE HEIGHT
- 4.1. MAXIMUM HEIGHT: 45'-0" FEET
- 4.2. WAREHOUSE ADDITION PROVIDED HEIGHT: 23'-6"
5. SETBACKS (BASED ON M-1 INDUSTRIAL ZONE)
- 5.1. FRONT SETBACK:
- 5.1.1. MINIMUM: 25.00 FEET
- 5.1.2. PROVIDED: 37.24 FEET
- 5.2. SIDE SETBACK:
- 5.2.1. MINIMUM: 25.00 FEET
- 5.2.2. PROVIDED: 52.53 FEET
- 5.3. REAR SETBACK:
- 5.3.1. MINIMUM: 30.00 FEET
- 5.3.2. PROVIDED: 38.42 FEET

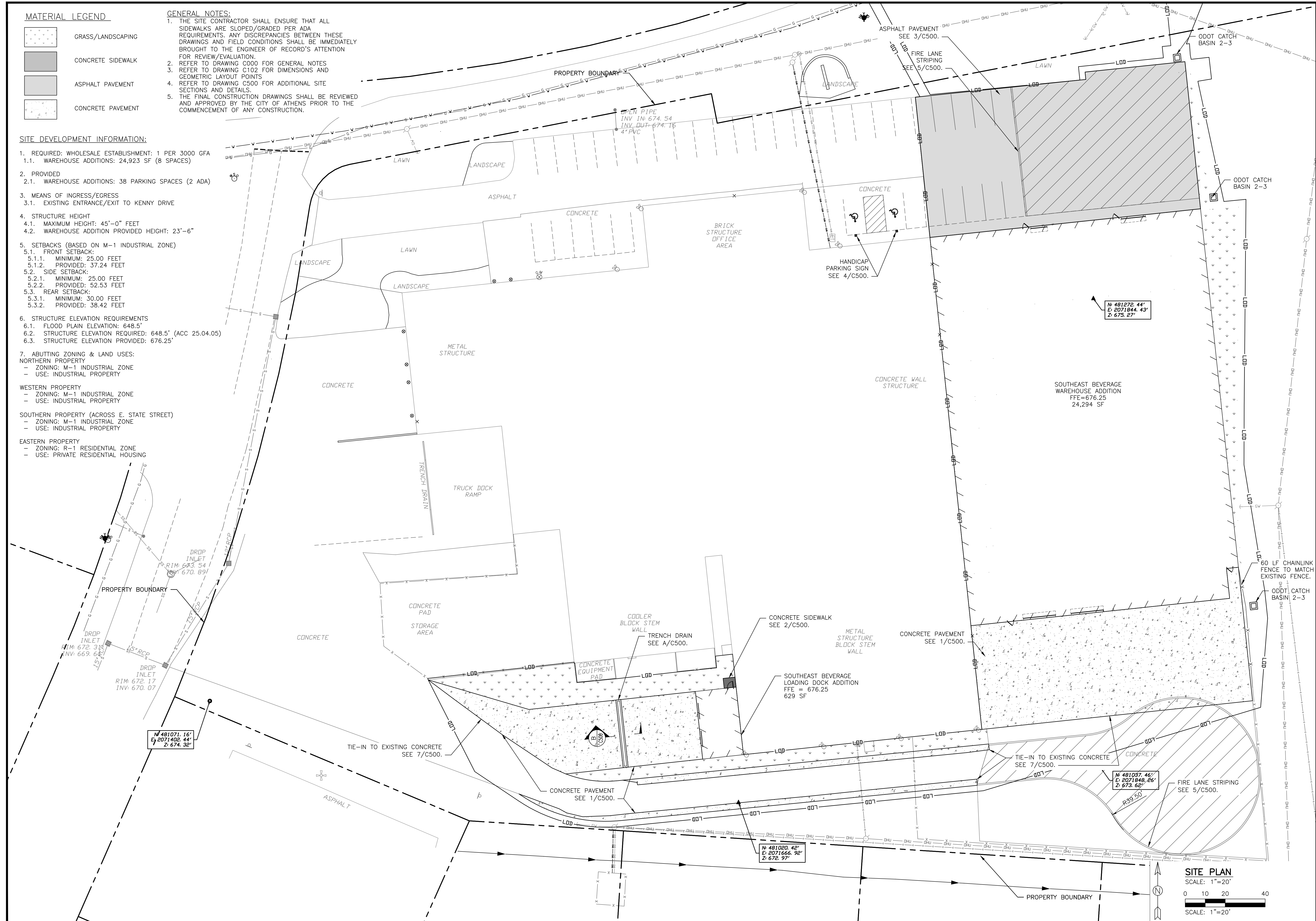
6. STRUCTURE ELEVATION REQUIREMENTS
6.1. FLOOD PLAIN ELEVATION: 648.5'
6.2. STRUCTURE ELEVATION REQUIRED: 648.5' (ACC 25.04.05)
6.3. STRUCTURE ELEVATION PROVIDED: 676.25'

7. ABUTTING ZONING & LAND USES
NORTHERN PROPERTY
- ZONING: M-1 INDUSTRIAL ZONE
- USE: INDUSTRIAL PROPERTY

- WESTERN PROPERTY
- ZONING: M-1 INDUSTRIAL ZONE
- USE: INDUSTRIAL PROPERTY

- SOUTHERN PROPERTY (ACROSS E. STATE STREET)
- ZONING: M-1 INDUSTRIAL ZONE
- USE: INDUSTRIAL PROPERTY

- EASTERN PROPERTY
- ZONING: R-1 RESIDENTIAL ZONE
 - USE: PRIVATE RESIDENTIAL HOUSING



Architects • Engineers • Surveyors
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Drawing Description
MARK MONDO BUILDING & EXCAVATING 771 W UNION ST., ATHENS, OH 45701 BEVERAGE WAREHOUSE ADDITION SITE PLAN

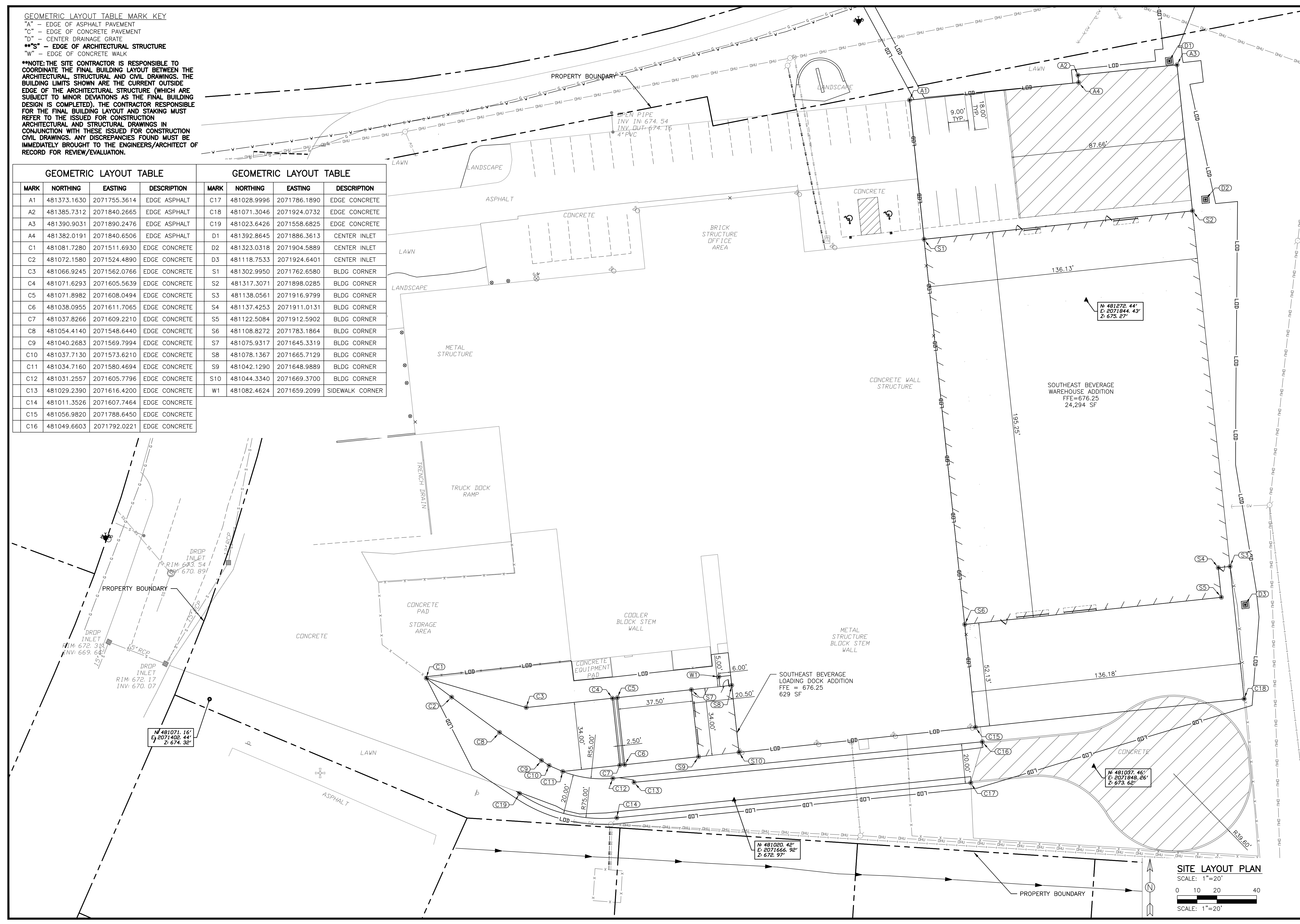


Project: 2232057
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"A" - EDGE OF ASPHALT PAVEMENT
 "C" - EDGE OF CONCRETE PAVEMENT
 "D" - CENTER DRAINAGE GRATE
****S" - EDGE OF ARCHITECTURAL STRUCTURE**
 "W" - EDGE OF CONCRETE WALK

MARK	NORTHING	EASTING	DESCRIPTION
A1	481373.1630	2071755.3614	EDGE ASPHALT
A2	481385.7312	2071840.2665	EDGE ASPHALT
A3	481390.9031	2071890.2476	EDGE ASPHALT
A4	481382.0191	2071840.6506	EDGE ASPHALT
C1	481081.7280	2071511.6930	EDGE CONCRETE
C2	481072.1580	2071524.4890	EDGE CONCRETE
C3	481066.9245	2071562.0766	EDGE CONCRETE
C4	481071.6293	2071605.5369	EDGE CONCRETE
C5	481071.8982	2071608.0494	EDGE CONCRETE
C6	481038.0955	2071611.7065	EDGE CONCRETE
C7	481037.8266	2071609.2210	EDGE CONCRETE
C8	481054.4140	2071548.6440	EDGE CONCRETE
C9	481040.2683	2071569.7994	EDGE CONCRETE
C10	481037.7130	2071573.6210	EDGE CONCRETE
C11	481034.7160	2071580.4694	EDGE CONCRETE
C12	481031.2557	2071605.7796	EDGE CONCRETE
C13	481029.2390	2071616.4200	EDGE CONCRETE
C14	481011.3526	2071607.7464	EDGE CONCRETE
C15	481056.9820	2071788.6456	EDGE CONCRETE
C16	481049.6603	2071792.0221	EDGE CONCRETE

GEOMETRIC LAYOUT TABLE				GEOMETRIC LAYOUT TABLE			
MARK	NORTHING	EASTING	DESCRIPTION	MARK	NORTHING	EASTING	DESCRIPTION
A1	481373.1630	2071755.3614	EDGE ASPHALT	C17	481028.9996	2071786.1890	EDGE CONCRETE
A2	481385.7312	2071840.2665	EDGE ASPHALT	C18	481071.3046	2071924.0732	EDGE CONCRETE
A3	481390.9031	2071890.2476	EDGE ASPHALT	C19	481023.6426	2071558.6825	EDGE CONCRETE
A4	481382.0191	2071840.6506	EDGE ASPHALT	D1	481392.8645	2071886.3613	CENTER INLET
C1	481081.7280	2071511.6930	EDGE CONCRETE	D2	481323.0318	2071904.5889	CENTER INLET
C2	481072.1580	2071524.4890	EDGE CONCRETE	D3	481118.7533	2071924.6401	CENTER INLET
C3	481066.9245	2071562.0766	EDGE CONCRETE	S1	481302.9950	2071762.6580	BLDG CORNER
C4	481071.6293	2071605.5639	EDGE CONCRETE	S2	481317.3071	2071898.0285	BLDG CORNER
C5	481071.8982	2071608.0494	EDGE CONCRETE	S3	481138.0561	2071916.9799	BLDG CORNER
C6	481038.0955	2071611.7065	EDGE CONCRETE	S4	481137.4253	2071911.0131	BLDG CORNER
C7	481037.8266	2071609.2210	EDGE CONCRETE	S5	481122.5084	2071912.5902	BLDG CORNER
C8	481054.4140	2071548.6440	EDGE CONCRETE	S6	481108.8272	2071783.1864	BLDG CORNER
C9	481040.2683	2071569.7994	EDGE CONCRETE	S7	481075.9317	2071645.3319	BLDG CORNER
C10	481037.7130	2071573.6210	EDGE CONCRETE	S8	481078.1367	2071665.7129	BLDG CORNER
C11	481034.7160	2071580.4694	EDGE CONCRETE	S9	481042.1290	2071648.9889	BLDG CORNER
C12	481031.2557	2071605.7796	EDGE CONCRETE	S10	481044.3340	2071669.3700	BLDG CORNER
C13	481029.2390	2071616.4200	EDGE CONCRETE	W1	481082.4624	2071659.2099	SIDEWALK CORNER
C14	481011.3526	2071607.7464	EDGE CONCRETE				
C15	481056.9820	2071788.6450	EDGE CONCRETE				
C16	481049.6603	2071792.0221	EDGE CONCRETE				



**PICKERING
ASSOCIATES**

Architects • Engineers • Surveyors

11283 Emerson Avenue
Parkersburg, West Virginia 26104
Phone: (304) 464-5305
Fax: (304) 464-4428

[illegible]

Drawing Description
MARK MONDO BUILDING & EXCAVATING 771 W UNION ST., ATHENS, OH 45701 BEVERAGE WAREHOUSE ADDITION SITE LAYOUT



Project: 2232057
Designed By: RJD
Drawn By: RJD
Checked By: SLK
Scale: 1" = 20'
Plot Date: 3/19/24
Revision: 0
Drawing Number: C102

1. THE EXISTING SITE DRAINS TO THE SOUTHEAST (EXISTING DRAINAGE DITCH) AND NORTHEAST (EXISTING INLET PIPE) CORNER OF THE PROPERTY.
2. ALL SPOT ELEVATIONS REPRESENT FINISHED SURFACES.
3. EXCESS CUT MATERIAL NOT USED FOR GRADING PURPOSES AS SHOWN IN THESE PLANS SHALL BE REMOVED FROM THE PROJECT SITE.
4. ALL CONTOURS REPRESENT TOP OF FINISHED SURFACE (I.E. TOP OF CONCRETE, TOP OF ASPHALT, TOP OF STONE, ETC).
5. THE FINAL TOP 6" OF SOIL NOT COVERED BY BUILDINGS OR PAVEMENT SHALL BE OF THE TYPE TO ADEQUATELY SUPPORT LAWN.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE (NO STANDING WATER) IS ATTAINED THROUGHOUT AND UPON COMPLETION OF THE PROJECT.
7. THE SITE CONTRACTOR SHALL ENSURE THAT ALL SIDEWALKS ARE SLOPED ACCORDER PER ADA REQUIREMENTS. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND FIELD CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ENGINEER OF RECORD'S ATTENTION FOR REVIEW/EVALUATION.

[illegible]

Drawing Description
MARK MONDO BUILDING & EXCAVATING 771 W UNION ST., ATHENS, OH 43701 BEVERAGE WAREHOUSE ADDITION SITE GRADING PLAN

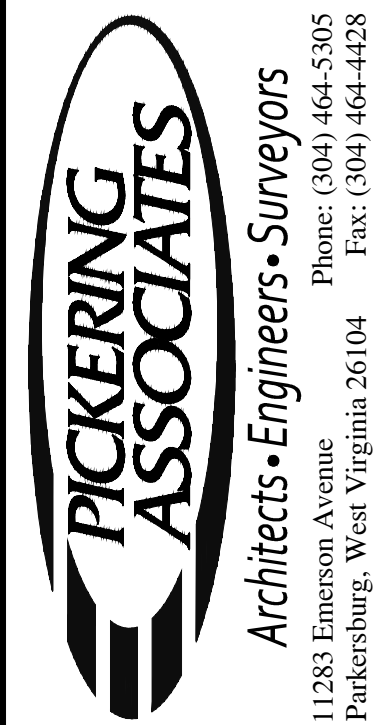


Project: 2232057
Designed By: RJD
Drawn By: RJD
Checked By: SLK
Scale: 1" = 20'
Plot Date: 3/19/24
Revision: 0
Drawing Number:

C103

NPDES SITE DESCRIPTION NOTES:

- 1.1. CONSTRUCTION ACTIVITY = CONSTRUCTION OF WAREHOUSE ADDITION AND LOADING DOCK AND ASSOCIATED INFRASTRUCTURE.
- 1.2. TOTAL SITE AREA = 4.769 ACRES
- 1.3. TOTAL DISTURBED AREA = 1.486 ACRES
- 1.4. RUNOFF COEFFICIENTS (WEIGHTED AVERAGE):
 - 1.4.1. PRE-CONSTRUCTION: 0.748
 - 1.4.2. POST-CONSTRUCTION: 0.759
- 1.5. PERCENT IMPERVIOUS AREA:
 - 1.5.1. PRE-CONSTRUCTION: 72.34%
 - 1.5.2. POST-CONSTRUCTION: 74.34%
2. PRIOR LAND USE = EXISTING LOT WITH STRUCTURE, CONCRETE, GRAVEL, AND GRASS
3. THE EXISTING SITE DRAINS TO THE SOUTHEAST (EXISTING DITCH) AND NORTHEAST (EXISTING INLET PIPE) CORNER OF THE PROPERTY.
4. PROPOSED CONSTRUCTION SEQUENCE:
 - 4.1. CLEAR AND GRUB APPROPRIATE AREAS TO BE DISTURBED (1 WEEK)
 - 4.2. INSTALL PERIMETER FILTER SEDIMENT CONTROLS PRIOR TO GRADING AND WITHIN 7 DAYS OF START OF GRUBBING (1 DAY)
 - 4.3. PROVIDE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AS REQUIRED DURING CONSTRUCTION (1 DAY)
 - 4.4. CONSTRUCT CONSTRUCTION ENTRANCE (1 DAY)
 - 4.5. CONSTRUCT SITE UTILITIES AND STORM DRAINAGE LINES LOCATED BELOW EXISTING GRAD FROM MAIN LINES TO WITHIN 5' OF BUILDING OR AT FITTING PRIOR TO BUILDING ENTRY (2 WEEKS)
 - 4.6. CONSTRUCT FILL AND CUT AS SHOWN ON DRAWINGS (2 WEEKS)
 - 4.7. CONSTRUCT BUILDINGS, DRIVES, ETC AS SHOWN ON DRAWINGS (3 MONTHS)
 - 4.8. PERMANENTLY SEED AND MULCH ALL DISTURBED AREAS (1 DAY)
 - 4.9. REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AS CONTRIBUTING AREAS ARE STABILIZED (1 DAY)
5. SILT FENCE SHALL BE PLACED ON LOW-SIDE OF STOCK PILES, CUT AREAS, OR FILL AREAS TO HELP LIMIT SEDIMENT FROM BEING WASHED INTO EXISTING STREETS, LAWNS, DRAINAGE STRUCTURES, AND DRAINAGE WAYS. SECTION 6.3 (SILT FENCE) OF THE OHIO RAINWATER AND LAND DEVELOPMENT MANUAL SHALL BE REFERENCED FOR ADDITIONAL INFORMATION. SILT FENCE SHALL BE CONSTRUCTED, MANUFACTURED, AND MAINTAINED IN ACCORDANCE WITH THE OHIO RAINWATER AND LAND DEVELOPMENT MANUAL.
6. FILTER SOCKS SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE OHIO RAINWATER AND LAND DEVELOPMENT MANUAL (SECTION 6.6).
7. INLET PROTECTION SHALL BE PROVIDED, CONSTRUCTED, AND MAINTAINED IN ACCORDANCE WITH SECTION 6.4 OF OHIO RAINWATER AND LAND DEVELOPMENT MANUAL.
8. CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE OHIO RAINWATER AND LAND DEVELOPMENT MANUAL (SECTION 7.4). STONE SHALL BE ODOT #2 SIZE WITH 10" MINIMUM THICKNESS. CONSTRUCTION ENTRANCE SHALL HAVE GEOTEXTILE FABRIC IN ACCORDANCE WITH THE OHIO RAINWATER AND LAND DEVELOPMENT MANUAL.
9. THE CONTRACTOR SHALL APPLY FOR A SEPARATE NPDES PERMIT FOR ALL BORROW AND WASTE SITES. BORROW AND WASTE SITE CONSTRUCTION SPECIFICATIONS ARE BEYOND THE SCOPE OF THESE PLANS. THE CONTRACTOR SHALL PERFORM ALL WORK AT THESE SITES IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE (NO STANDING WATER) IS ATTAINED THROUGHOUT AND UPON COMPLETION OF THE PROJECT.
11. SEDIMENT AND EROSION CONTROL DEVICES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH ODOT AND ODNR STANDARD DETAILS. WHERE CONFLICTS ARE ENCOUNTERED, THE MOST STRINGENT REQUIREMENT SHALL CONTROL.
12. CEMENT TRUCK WASH-OUT AREAS SHALL BE SURROUNDED BY A EARTH DIKE AND BE LOCATED AWAY FROM DRAINAGE CHANNELS. THE DIKED AREA SHALL HOLD A VOLUME EQUAL TO 11% OF THE LARGEST TANK. WASHINGS MUST BE CONTAINED ON-SITE UNTIL THEY HARDEN. ALL REMAINING DEBRIS SHALL THEN BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS.
13. REFUELING, MAINTENANCE, AND STORAGE AREAS SHALL BE LOCATED WITHIN A DIKED AND IMPERVIOUS AREA. TOXIC WASTE AND SPILLAGE MUST BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS.
14. CONSTRUCTION ENTRANCES MUST BE LOCATED WITHIN THE SITE PROPERTY LIMITS AND BE GRAVELED SUFFICIENTLY TO EFFECTIVELY MINIMIZE THE TRACKING OF SEDIMENTS FROM THE SITE. ENTRANCES AND RECEIVING ROADWAYS SHALL BE SWEEP/CLEANED AT FREQUENCY ACCEPTABLE TO THE ENGINEER AND THE AUTHORITY HAVING JURISDICTION.
15. WHERE POSSIBLE, LEAVE EXISTING VEGETATIVE STRIP ALONG PROPERTY PERIMETER.
16. APPROPRIATE CONSTRUCTION DUMPSTERS SHALL BE PROVIDED (EG. LEAK PROOF, COVERED) AS REQUIRED BY NPDES PERMIT.
17. ALL TEMPORARY EROSION AND SEDIMENT CONTROL PRACTICES SHALL CEASE AND BE DISPOSED OF WITHIN THIRTY DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR THEY ARE NO LONGER NEEDED.



0		ISSUED FOR PERMIT		SLK	3/19/24
Rev.		Description		By	Date

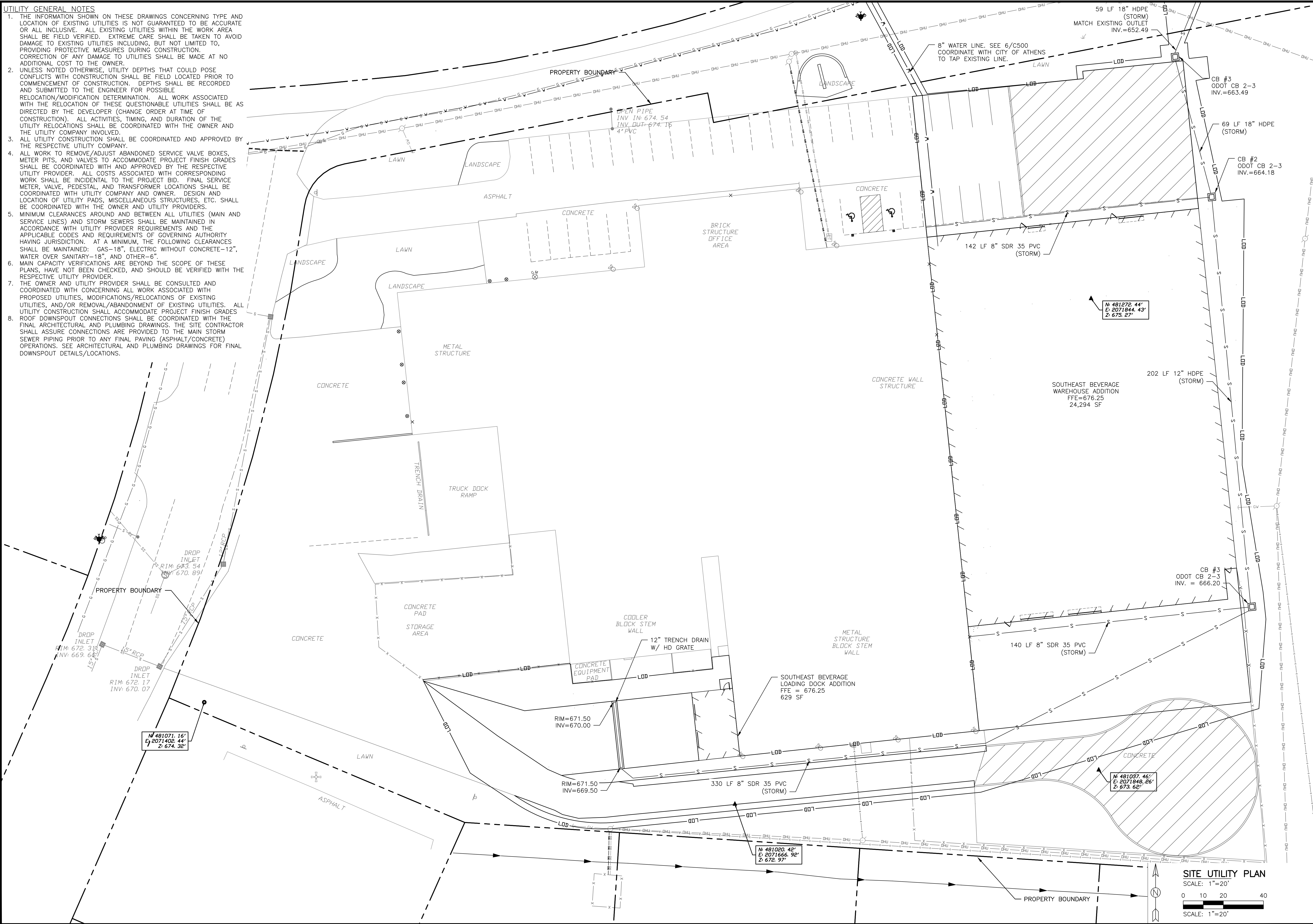
Drawing Description
MARK MONDO BUILDING & EXCAVATING 771 W UNION ST., ATHENS, OH 45701 BEVERAGE WAREHOUSE ADDITION SITE SEDIMENT AND EROSION CONTROL PLAN



Project: 2232057
Designed By: RJD
Drawn By: RJD
Checked By: SLK
Scale: 1" = 20'
Plot Date: 3/19/24
Revision: 0
Drawing Number:

C104

- UTILITY GENERAL NOTES**
1. THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. ALL EXISTING UTILITIES WITHIN THE WORK AREA SHALL BE FIELD VERIFIED. EXTREME CARE SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING UTILITIES INCLUDING, BUT NOT LIMITED TO, PROVIDING PROTECTIVE MEASURES DURING CONSTRUCTION. CORRECTION OF ANY DAMAGE TO UTILITIES SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
 2. UNLESS NOTED OTHERWISE, UTILITY DEPTHS THAT COULD POSE CONFLICTS WITH CONSTRUCTION SHALL BE FIELD LOCATED PRIOR TO COMMENCEMENT OF CONSTRUCTION. DEPTHS SHALL BE RECORDED AND SUBMITTED TO THE ENGINEER FOR POSSIBLE RELOCATION/MODIFICATION DETERMINATION. ALL WORK ASSOCIATED WITH THE RELOCATION OF THESE QUESTIONABLE UTILITIES SHALL BE AS DIRECTED BY THE DEVELOPER (CHANGE ORDER AT TIME OF CONSTRUCTION). ALL ACTIVITIES, TIMING, AND DURATION OF THE UTILITY RELOCATIONS SHALL BE COORDINATED WITH THE OWNER AND THE UTILITY COMPANY INVOLVED.
 3. ALL UTILITY CONSTRUCTION SHALL BE COORDINATED AND APPROVED BY THE RESPECTIVE UTILITY COMPANY.
 4. ALL WORK TO REMOVE/ADJUST ABANDONED SERVICE VALVE BOXES, METER PITS, AND VALVES TO ACCOMMODATE PROJECT FINISH GRADES SHALL BE COORDINATED WITH AND APPROVED BY THE RESPECTIVE UTILITY PROVIDER. ALL COSTS ASSOCIATED WITH CORRESPONDING WORK SHALL BE INCIDENTAL TO THE PROJECT BID. FINAL SERVICE METER, VALVE, PEDESTAL, AND TRANSFORMER LOCATIONS SHALL BE COORDINATED WITH UTILITY COMPANY AND OWNER. DESIGN AND LOCATION OF UTILITY PADS, MISCELLANEOUS STRUCTURES, ETC. SHALL BE COORDINATED WITH THE OWNER AND UTILITY PROVIDERS.
 5. MINIMUM CLEARANCES AROUND AND BETWEEN ALL UTILITIES (MAIN AND SERVICE LINES) AND STORM SEWERS SHALL BE MAINTAINED IN ACCORDANCE WITH UTILITY PROVIDER REQUIREMENTS AND THE APPLICABLE CODES AND REQUIREMENTS OF GOVERNING AUTHORITY HAVING JURISDICTION. AT A MINIMUM, THE FOLLOWING CLEARANCES SHALL BE MAINTAINED: GAS-18", ELECTRIC WITHOUT CONCRETE-12", WATER OVER SANITARY-18", AND OTHER-6".
 6. MAIN CAPACITY VERIFICATIONS ARE BEYOND THE SCOPE OF THESE PLANS, HAVE NOT BEEN CHECKED, AND SHOULD BE VERIFIED WITH THE RESPECTIVE UTILITY PROVIDER.
 7. THE OWNER AND UTILITY PROVIDER SHALL BE CONSULTED AND COORDINATED WITH CONCERNING ALL WORK ASSOCIATED WITH PROPOSED UTILITIES, MODIFICATIONS/RELOCATIONS OF EXISTING UTILITIES, AND/OR REMOVAL/ABANDONMENT OF EXISTING UTILITIES. ALL UTILITY CONSTRUCTION SHALL ACCOMMODATE PROJECT FINISH GRADES.
 8. ROOF DOWNSPOUT CONNECTIONS SHALL BE COORDINATED WITH THE FINAL ARCHITECTURAL AND PLUMBING DRAWINGS. THE SITE CONTRACTOR SHALL ASSURE CONNECTIONS ARE PROVIDED TO THE MAIN STORM SEWER PIPING PRIOR TO ANY FINAL PAVING (ASPHALT/CONCRETE) OPERATIONS. SEE ARCHITECTURAL AND PLUMBING DRAWINGS FOR FINAL DOWNSPOUT DETAILS/LOCATIONS.



PICKERING ASSOCIATES
Architects-Engineers-Surveyors
11283 Emerson Avenue
Parkersburg, West Virginia 26104
Phone: (304) 464-5305
Fax: (304) 464-4428

Rev.	By	Date	Description
0	SLK	3/19/24	ISSUED FOR PERMIT

Drawing Description

MARK MONDO BUILDING & EXCAVATING
771 W UNION ST., ATHENS, OH 45701
BEVERAGE WAREHOUSE ADDITION
SITE UTILITY PLAN

Project: 2232057
Designed By: RJD
Drawn By: RJD
Checked By: SLK
Scale: 1" = 20'
Plot Date: 3/19/24
Revision: 0
Drawing Number: C105

STATE OF OHIO
SPENCER LEE KIMBLE
REGISTERED PROFESSIONAL ENGINEER
No. 12422
Exp. 12/31/2025

Planning Commission Members,

In preparing for recreational marijuana legislation from the State, the Staff researched existing tobacco licenses by zone and proposes the following changes to Athens City Code in order to permit and restrict cannabis establishments throughout the community of Athens.

We suggest changes to the following sections of ACC 23.04 as follows:

23.04.05. - B-2 Business District.

(A) Principal permitted uses. Any convenience business or general business or services establishment, subject to the following general conditions:

(1) Residential uses are permitted only on the second story and above.

(2) Automotive services and service stations shall be at least 50 feet from any R-Zone and shall have no openings adjoining the R-Zone, other than stationary windows and fire escapes.

(3) Other uses: Any other retail business or service establishment or use, which determined by the BZA to be of the same general character as the above permitted uses, but not including any use first permitted or not permitted in the B-3 Zone.

(4) "Bed and breakfast" establishments.

(5) Hotels and motels.

(6) CANNABIS ESTABLISHMENTS. NO MORE THAN 2 ESTABLISHMENTS ARE ALLOWED WITHIN THE B-2 BUSINESS DISTRICT AND THEY SHALL BE AT LEAST FIVE HUNDRED (500) FEET FROM A SCHOOL, PUBLIC LIBRARY, PUBLIC PLAYGROUND, PUBLIC PARK, OR ANY OTHER CANNABIS ESTABLISHMENT.

(B) Permitted accessory uses: Accessory uses and structures as permitted and as regulated in the R-3 Zone and such other accessory uses and structures, not otherwise prohibited, customarily accessory and incidental to any of the foregoing permitted uses.

23.04.06. - B-2D Downtown Business Zone.

Same as specified in B-2, except for schedule of bulk controls Table A.

(A) Entertainment—Night clubs, theaters, billiard parlors, pool halls, bowling alleys, and similar enterprises shall be at least 100 feet from any R-Zone.

(B) "Bed and breakfast" establishments.

(C) CANNABIS ESTABLISHMENTS. NO MORE THAN 5 ESTABLISHMENTS ARE ALLOWED WITHIN THE B-2D DOWNTOWN BUSINESS ZONE AND THEY SHALL BE AT LEAST FIVE

HUNDRED (500) FEET FROM A SCHOOL, PUBLIC LIBRARY, PUBLIC PLAYGROUND, PUBLIC PARK, OR ANY OTHER CANNABIS ESTABLISHMENT.

23.04.07. - B-3 General Business Zone.

(A) Principal permitted uses: Any use permitted and as regulated in the B-2 and B-2D Zones, except as hereinafter modified in the following general conditions:

(14) CANNABIS ESTABLISHMENTS. NO MORE THAN 12 ESTABLISHMENTS ARE ALLOWED WITHIN THE B-3 GENERAL BUSINESS ZONE AND THEY SHALL BE AT LEAST FIVE HUNDRED (500) FEET FROM A SCHOOL, PUBLIC LIBRARY, PUBLIC PLAYGROUND, PUBLIC PARK, OR ANY OTHER CANNABIS ESTABLISHMENT.

(154) Other uses—Any other use which is determined by the BZA to be of the same general character as the above permitted uses, but not including any use which is first permitted in the M-Zone, or which is prohibited in the M-Zone.

(B) Permitted accessory uses: Accessory uses and structures as permitted and as regulated in the B-1 Zone and such other accessory uses and structures not otherwise prohibited, customarily accessory and incidental to any of the foregoing permitted B-2 uses.

23.04.08. - M Industrial Zone.

(A) Principal permitted uses: Any use permitted and regulated in the B-3 Zone and any industrial use, except as hereinafter modified in the following general conditions:

(5) CANNABIS ESTABLISHMENTS. NO MORE THAN 5 ESTABLISHMENTS ARE ALLOWED WITHIN THE M INDUSTRIAL ZONE AND THEY SHALL BE AT LEAST FIVE HUNDRED (500) FEET FROM A SCHOOL, PUBLIC LIBRARY, PUBLIC PLAYGROUND, PUBLIC PARK, OR ANY OTHER CANNABIS ESTABLISHMENT.

(65) Other uses—Any other use that is determined by the BZA to be of the same general character as the above permitted uses but not including any use that is conditionally permitted in the M Zone under Section 23.04.07(B) or prohibited under Section 23.04.07(C).

(B) Permitted accessory uses: Accessory uses and structures permitted and as regulated in the B-2 Zone, except as hereinafter modified and such other uses and structures customarily accessory and incidental to any of the foregoing principal permitted uses for an M Zone.

Andy Stone

From: David Riggs <driggs@ci.athens.oh.us>
Sent: Wednesday, January 24, 2024 9:48 AM
To: Andy Stone; Andrew Chiki; Lisa Eliason
Cc: Jessica Branner-Hittle
Subject: businesses with tobacco licenses in Athens

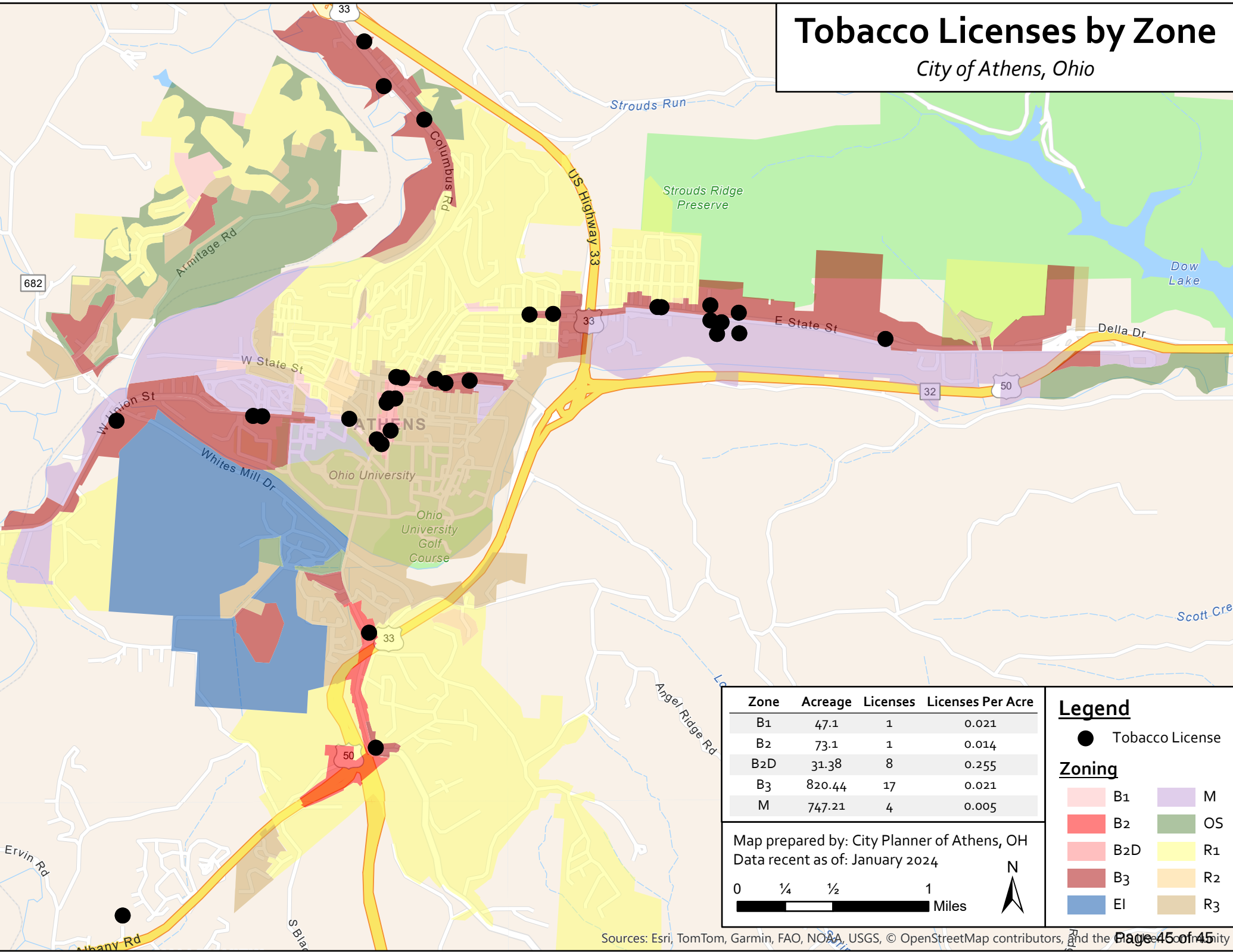
There are 33 businesses in Athens that have a current tobacco license.

1	Wolfhouse LLC	Smiling Skull Saloon	108 West Union St
2	Cranberry Row, LLC	Union Street Market	26 W Union St
3	Silver Serpent LLC	Silver Serpent	55 N Court Street
4	Silver Serpent LLC	Silver Serpent	728 E State Street
5	Silver Serpent LLC	Silver Serpent	13 W Union Street
6	Athens Community Dr	Athens Community Dr	750 E State Street
7	The Kroger Company	Kroger #901	919 E. State St.
8	The Kroger Company	Kroger #901 Fuel	919 E. State St.
9	Pete's BP LLC	Pete's	542 Richland Ave
10	Tobacco & Vape City	Tobacco & Vape City	447 E State St
11	Seamans of Athens	Seamans Grocery	305 W Union Street
12	Seamans of Athens	Seamans Marathon	295 W Union Street
13	Walmart Stores East, LP	Walmart #3486	929 E State ST
14	Family Dollar Stores	Family Dollar #20859	4 E Carpenter St
15	The Kroger Company	Kroger #901 Liquor Stor	917 E State ST
16	Anthony Sylvester Inc	Tony's Tavern	7 West State Street
17	Dolgen Midwest, LLC	Dollar General Store	1016 E State Street
18	Dolgen Midwest, LLC	Dollar General Store	8980 United Lane
19	Nelsonville Grocery Inc	Busy Day Market	30 W. Stimson Ave
20	Compton Point Inc	Cheap Tobacco #81	906 E. State St
21	Par Mar Oil Company	Par Mar Store #153	1 E Stimson Ave
22	Par Mar Oil Company	Par Mar Store #166	50 North Court Street
23	Par Mar Oil Company	Par Mar Store #167	235 Columbus Road
24	GoBrands, Inc.	GoPuff	188 Columbus Rd
25	Athens Smoke LLC	Athens Smoke LLC	12 Carpenter St
26	Speedway LLC	Speedway #9235	319 E State Street
27	Speedway LLC	Speedway #9242	414 Richland Ave
28	Go-Mart, Inc.	Go-Mart #111	928 E. State St
29	Go-Mart, Inc.	Go-Mart #112	707 W. Union St
30	Tobacco & Vape City	Tobacco & Vape City Co	447 E State St
31	Snag Delivery Inc.	Snag Delivery Inc.	13 W. Stimson Avenue
32	Mike's Dog Shack, LLC	The Shack	20 S Court St
33	GoBrands, Inc.	GoPuff	141 Columbus Rd

David Riggs, PE
City of Athens
Code Director

Tobacco Licenses by Zone

City of Athens, Ohio



Zone	Acreage	Licenses	Licenses Per Acre
B1	47.1	1	0.021
B2	73.1	1	0.014
B2D	31.38	8	0.255
B3	820.44	17	0.021
M	747.21	4	0.005

Legend

● Tobacco License

Zoning

- B1
- B2
- B2D
- B3
- EI
- M
- OS
- R1
- R2
- R3

Map prepared by: City Planner of Athens, OH
Data recent as of: January 2024

